

North Carolina Department of Natural and Cultural Resources State Historic Preservation Office

Ramona M. Bartos, Administrator

Governor Roy Cooper Secretary Susi H. Hamilton Office of Archives and History Deputy Secretary Kevin Cherry

August 1, 2017

MEMORANDUM

To: Shelby Reap, Architectural Historian NCDOT/PDEA/HES slreap@ncdot.gov

From: Renee Gledhill-Earley

Re: Widen NC 211 from SR 1241 (Holly Grove School Road) to NC 73 in West End, R-5726, Moore County, ER 17-1302

Thank you for your letter of July 19, 2017, transmitting the above-referenced report. We have reviewed the report and concur that the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (MR0557) are eligible for listing in the National Register of Historic Places under Criteria A and B. We do wonder, however, why the boundary for the property is extended so far to the south in that the buildings appear to be concentrated at the north end of the parcel.

We also concur that the John and Mary House (MR1380), West End Historic District (MR1405), and West End Methodist Church (MR0572) are not eligible for listing in the National Register for the reasons outlined.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR part 800.

Thank you for your cooperation and consideration. If you have any questions concerning the above comment, please contact Renee Gledhill-Earley, environmental review coordinator, at 919/807-6579.

cc: Mary Pope Furr, NCDOT

mfurr@ncdot.gov



STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

ROY COOPER GOVERNOR JAMES H. TROGDON, III Secretary

ER17-1302

August 7, 2017

Renee Gledhill-Earley Deputy State Historic Preservation Officer North Carolina Department of Cultural Resources 4617 Mail Service Center Raleigh, North Carolina 27699-4617

Dear Gledhill-Earley:

RE: R-5726—Widen NC 211 from SR 1241 (Holy Grove Rd) to NC 73 in West End, Moore County, ER 17-1302

Thank you for your letter dated August 1, 2017. We have revised the National Register boundary for the Moses C. McDonald House, Store, and Handkerchief Factory (MR0557) to follow the boundary that was created when the property was placed on the Study List with the exception of increasing the eastern boundary to follow the utility line along Knox Lane so that the buildings are fully included within the boundary. If you have any questions I can be reached at (919) 707-6088 or by email at slreap@ncdot.gov.

Sincerely,

Shelfon Keap

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Hollin

Shelby Reap Historic Architecture Section

Attachment

Mailing Address: NC DEPARTMENT OF TRANSPORTATION PDEA-HUMAN ENVIRONMENT SECTION MAIL SERVICE CENTER 1598 RALEIGH NC, 27699-1598 Telephone: (919) 707-6000 Fax: (919) 212-5785 Customer Service: 1-877-368-4968 *Location:* 1020 BIRCH RIDGE RD RALEIGH NC 27610

Website: www.ncdot.gov

HISTORIC STRUCTURES SURVEY REPORT WIDEN NC 211 FROM SR 1241 (HOLLY GROVE SCHOOL RD) TO NC 73 IN WEST END, MOORE COUNTY, NORTH CAROLINA

TIP Project R-5726 WBS No. 50218.1.1

Prepared for: The North Carolina Department of Transportation Human Environment Section Century Center 1020 Birch Ridge Road Raleigh, NC 27610

Prepared by: Commonwealth Heritage Group, Inc. P.O. BOX 1198 201 WEST WILSON STREET TARBORO, NORTH CAROLINA 27886

> Jeroen van den Hurk, Ph.D. Architectural Historian

> > NCR-0748

JULY 2017

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JULY 2017

Commonwealth Heritage Group

Jeroen van den Hurk, Ph.D., Principal Investigator

Mary Pope Furr, Supervisor Historic Architecture Group, NCDOT 7-13-2017

Date

Date

MANAGEMENT SUMMARY

The North Carolina Department of Transportation (NCDOT) proposes to widen and upgrade NC 211 from SR 1241 (Holly Grove School Rd) to NC 73 in West End, Moore County. The study limits extend approximately five miles along NC 211. This project is included in the North Carolina State Transportation Improvement Plan (STIP) as Project Number R-5726 and is federally funded. NCDOT architectural historians established an Area of Potential Effects (APE) for the project and conducted a preliminary investigation, identifying one resource warranting additional study and eligibility evaluation, as well as the potential for a West End Historic District.

This report represents the documentation and the evaluation of the potential West End Historic District (MR1405//#002 through #028), encompassing twenty-seven (27) resources, including a commercial core area that is also considered in detail, located within the APE for this project, as per Section 106 of the National Historic Preservation Act of 1966. The historic district includes the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557) and the West End Methodist Church (#019//MR0572), which have been evaluated individually. This report also includes the documentation of the ca. 1923 John & Mary Monroe House (#001// MR1380).

For the preparation of this evaluation report, the Commonwealth Heritage Group, Inc., (Commonwealth) architectural historian conducted architectural analysis and in-depth National Register of Historic Places (NRHP) evaluations of the requested properties in the study area. Field documentation included notes, sketch maps, and digital photography. Background research was conducted at the Moore County Library (Carthage) and the Moore County Register of Deeds (Carthage), both online and on site. Additional background research was conducted at the Commonwealth library in Tarboro, North Carolina, and using online sources. This report recommends that the West End Historic District (MR1405) and the John & Mary Monroe House (#001//MR1380) are not eligible for listing in the NRHP. Two resources within the historic district warranted an individual evaluation, the West End Methodist Church (#019//MR0572) and the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557). The church is recommended not eligible for listing in the NRHP, but the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557) is eligible for listing in the NRHP under Criteria A and B.

PROPERTY NAME	TEMPORARY SURVEY	HPO SSN	ELIGIBILITY	CRITERIA
	SITE NUMBER		DETERMINATION	
John & Mary House	001	MR1380	Not Eligible	None
West End Historic District	002 through 011, 013	MR1405	Not Eligible	None
	through 018, and 020			
	through 028			
Moses C. McDonald House,	012	MR0557	Eligible	A and B
Store, and Carolina				
Handkerchief Factory				
West End Methodist Church	019	MR0572	Not Eligible	None

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INTRODUCTION

The North Carolina Department of Transportation (NCDOT) proposes to widen and upgrade NC 211 from SR 1241 (Holly Grove School Rd) to NC 73 in West End, Moore County (Figure 1). The study limits extend approximately five miles along NC 211. This project is included in the North Carolina State Transportation Improvement Plan (STIP) as Project Number R-5726 and is federally funded. NCDOT architectural historians established an Area of Potential Effects (APE) for the project and conducted a preliminary investigation, identifying one resource warranting additional study and eligibility evaluation, as well as the potential for a West End Historic District.

This report represents the documentation and the evaluation of the potential West End Historic District (MR1405//#002 through #028), encompassing twenty-seven (27) resources, including a commercial core area that is also considered in detail, located within the APE for this project, as per Section 106 of the National Historic Preservation Act of 1966. The historic district includes the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557) and the West End Methodist Church (#019//MR0572), which have been evaluated individually. This report also includes the documentation of the ca. 1923 John & Mary Monroe House (#001// MR1380).

For the preparation of this evaluation report, the Commonwealth Heritage Group, Inc., (Commonwealth) architectural historian conducted architectural analysis and in-depth National Register of Historic Places (NRHP) evaluations of the requested properties in the study area. Field documentation included notes, sketch maps, and digital photography. Background research was conducted at the Moore County Library (Carthage) and the Moore County Register of Deeds (Carthage), both online and on site. Additional background research was conducted at the Commonwealth library in Tarboro. This report is on file at NCDOT and is available for review by the public.

Methodology

Commonwealth prepared this historic architectural resources evaluation report in accordance with the provisions of the *Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation*¹ and NCDOT's *Survey Procedures and Report Guidelines for Historic Architectural Resources*. This report meets NCDOT and National Park Service guidelines. Resources are evaluated according to National Register of Historic Places (NRHP) criteria. The location of the project area, the eight evaluated resources, and the existing district boundaries are shown in Figures 2a and 2b.

The NRHP criteria require that the quality of significance in American history, architecture, culture, and archaeology should be present in buildings, structures, objects, sites, or districts that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and that the buildings, structures, objects, sites, or districts:

- A. are associated with events that have made a significant contribution to the broad patterns of our history;
- B. are associated with the lives of persons significant in our past;

¹ National Park Service, 2017. 48 CFR 44716; 36 CFR Part 800; 36 CFR Part 60

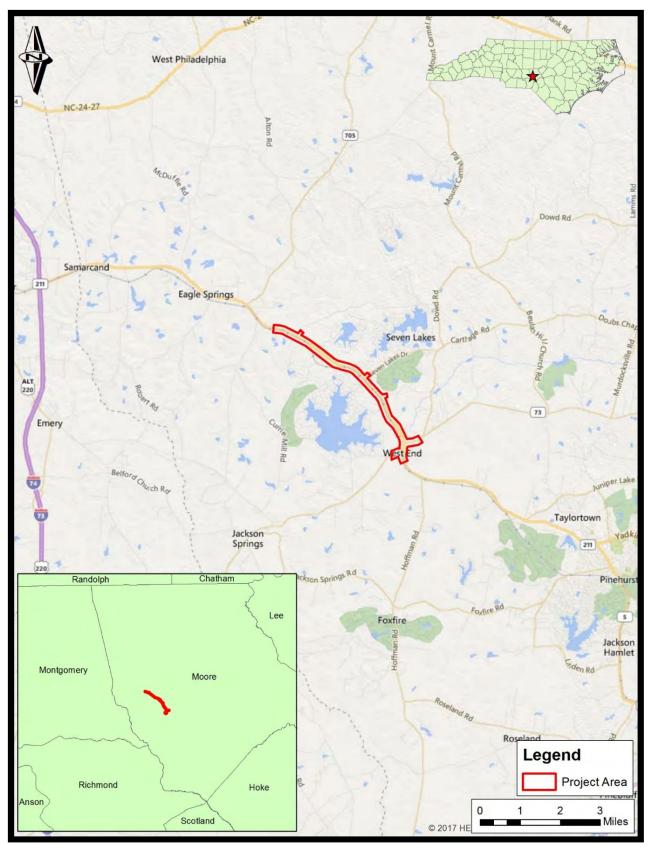


Figure 1: General Location of the Project Area along NC 211, West End, Moore County (U-5726).

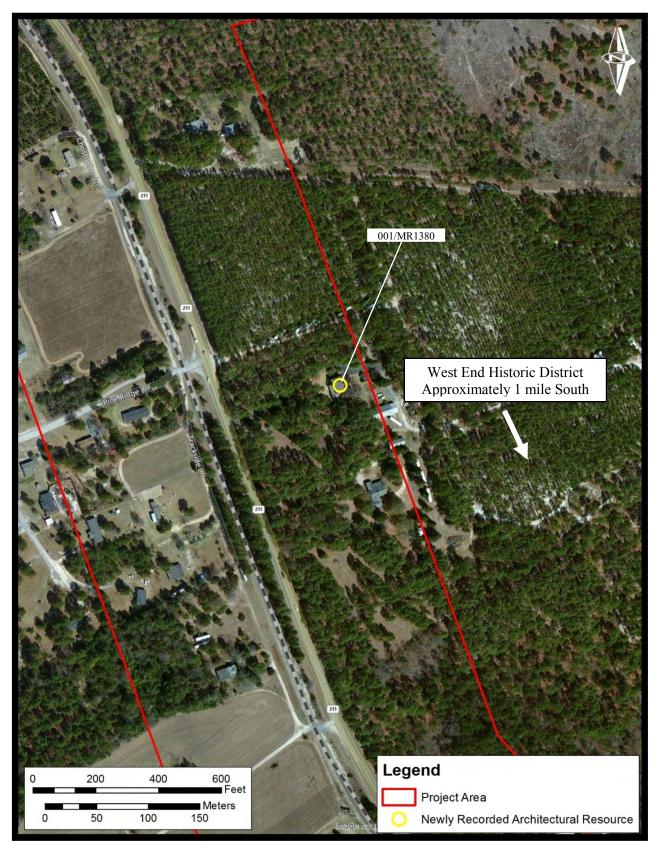


Figure 2a: Historic Architectural Resource, Shown on Aerial (U-5726) (ArcGIS Image Service 2017).

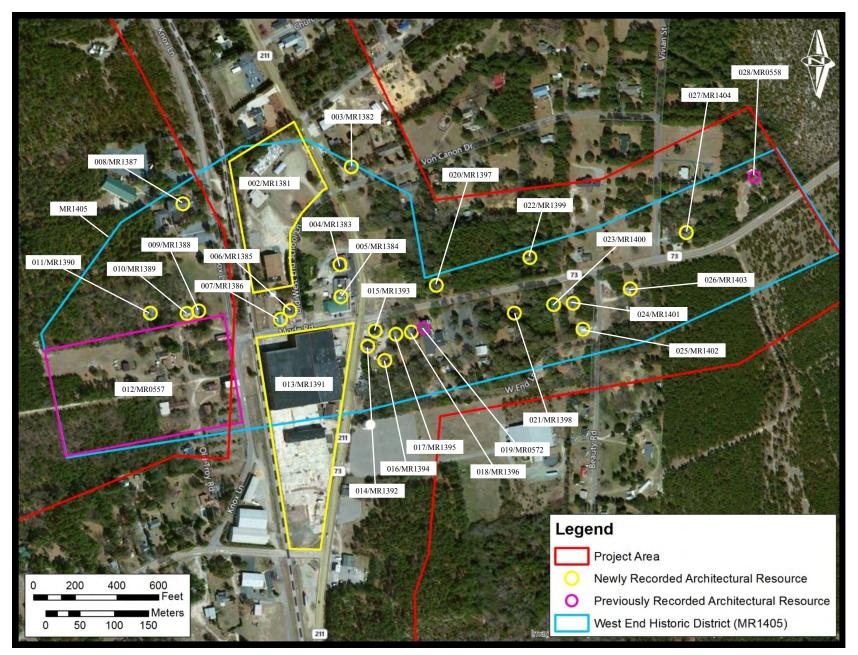


Figure 2b: Historic Architectural Resources, Shown on Aerial (U-5726) (ArcGIS Image Service 2017).

- C. embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. have yielded, or may be likely to yield, information important in prehistory or history.²

For the in-depth evaluation of the requested resources, the Commonwealth architectural historian conducted fieldwork in May 2017. Field documentation included notes, sketch maps, and digital photography. Background research was conducted at the Moore County Library (Carthage) and the Moore County Register of Deeds (Carthage), both online and on site. Additional background research was conducted at the Commonwealth library in Tarboro, North Carolina, and using online sources.

Summary of Results

The intensive level investigations involved the evaluation of one individual resource, the John & Mary Monroe House (#001//MR1380), and the potential for a West End Historic District, which contains approximately twenty-seven resources, including a commercial core area that was also considered in detail. Based on the information obtained during the evaluation the John & Mary Monroe House (#001//MR1380) and the West End Historic District (MR1405) are not eligible for listing in the NRHP. The commercial core area was considered as a potentially independent smaller district, but did not meet the criteria of eligibility. Two resources within the historic district warranted an individual evaluation, the West End Methodist Church (#019//MR0572) and the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557). The church is recommended not eligible for listing in the NRHP, but the Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557) is eligible for listing in the NRHP under Criteria A, B, and C.

Physical Environment

The study area is located southwest of Carthage and consists of the small crossroads community of West End, which is defined by a commercial section at the intersection of NC 211 and NC 73, which is surrounded by free standing houses, some on large lots. The majority of the modern development to place northwest along NC 211 towards Seven Lakes.

PROPERTY INVENTORY AND EVALUATIONS

HISTORY OF WEST END

The history of West End dates back to the late nineteenth century. Originally called Victor, its name was changed to West End in 1890.³ Daniel A. McDonald owned a turpentine distillery in the area, and together with Allison Francis Page of Aberdeen, he established the Aberdeen and West End Railroad to open up the area for economic development (Figure 3).⁴ By 1898 the population of the town had grown to 200, and was home to several stores, a shingle manufacturer, a sawmill, and a drug store.⁵ That same year a fire destroyed thirteen buildings in the downtown area, only leaving the drugstore and the train depot standing. The arrival of J. B. Von Canon and his family, around 1903, breathed new life in the community. Von Canon initially occupied himself with his shingle mill and growing peaches; the latter was a popular crop in the area. By 1927, he shifted his attention to the burgeoning furniture industry and started the Sandhill Furniture Company. Because of the town's economic diversity it fared reasonably well during the Great Depression. Due to both the peach business and the furniture industry the town thrived in the following decades. In 1965, Stanley Furniture Company bought out the Sandhill Furniture Company. It was not until the arrival of foreign competition, especially in the furniture industry during the third quarter of the twentieth century that West End's economy began to decline. This eventually culminated in the closure of the Stanley Furniture Company in 2001. West End has lost its agricultural and manufacturing heart at the beginning of the twenty-first century, and the focus of the community seems to have shifted northwest towards the community of Seven Lakes.

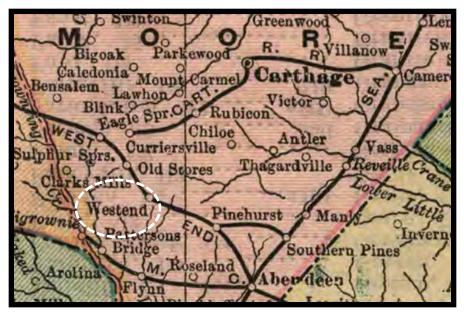


Figure 3: Detail of *Matthews-Northrup up-to-date map of North Carolina* Showing Moore County and Westend [sic] (Matthews-Northrup Company 1890).

³ Postmark Catalog for Moore County, 2017, page 94.

⁴ David R. Black and Allison H. Black, *Aberdeen Historic District*, NRHP nomination, December 16, 1988.

⁵ The following information is culled from the history of West End by Dorothy K. Thomas in in *Moore County Heritage, North Carolina, Volume I, 2005.*

INVENTORY OF WEST END PROPERTIES EVALUATED FOR POTENTIAL HISTORIC DISTRICT

Resource Name:	West End Historic District
NCDOT Survey Site Number:	002 through 011, 013 through 018, and 020 through 028
HPO Survey Site Number:	MR1405
Location:	Intersection of NC 73 and NC 211
Parcel ID:	Multiple
Dates(s) of Construction:	ca. 1890 to ca. 1972
Recommendation:	Not Eligible for the NRHP.



Figure 4: Resources in the West End Historic District. Note that resources 012 and 019 were evaluated separately from the historic district, and the dashed blue outline indicates commercial core area.

Setting

West End is a small unincorporated community located at the intersection of NC 73 and NC 211. The oldest section is located to the west of the Norfolk & Southern Railroad at the intersection of Mode Road and Knox Lane, with the early twentieth-century expansion occurring east along NC 73. The layout of the community does not follow a specific design, but occurred more organically along established roadways (Figures 4 and 5). The twentieth-century commercial

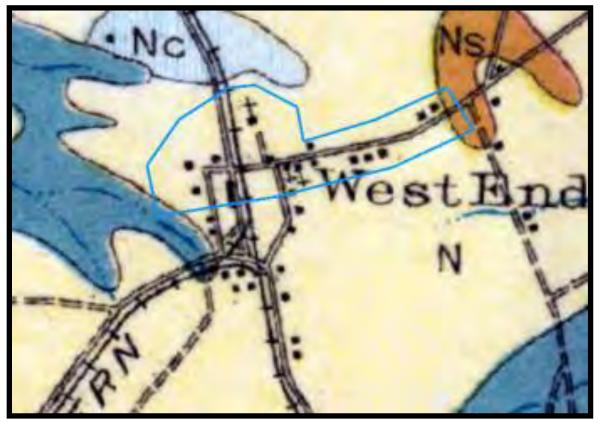


Figure 5: Detail of 1919 Soil Map, North Carolina, Moore County Sheet, Showing West End, with Historic District Overlay (United States Department of Agriculture 1919).

development is centered around the intersection of NC 73 and NC 211 (see Figure 4). The building stock reflects the establishment of the community at the end of the nineteenth century and its growth during the first half of the twentieth century. More recent modern development has occurred north along NC 211 towards Seven Lakes.

The West End Historic District is comprised of the properties facing Knox Lane in the west, near the intersection with Mode Road, the properties to the north and south along Mode Road, and those facing NC 73, from NC 211 to approximately 650 feet past the intersection with Vivian Street.

Property Description West End High School (# 002//MR1381), ca. 1927-1969 106 Old West End School Lane

Exterior

West End High was in operation from ca. 1927 until 1969. The original one-story, brick high school building was a modest example of the Mission, or Spanish Revival, style with its stepped parapet walls, and not uncommon for schools built during the first decades of the twentieth century (Figure 6). The main building was demolished in 1986, but three of the ancillary structures survive (Figure 7). The oldest of the surviving structure is the large front-gabled brick gymnasium, which is located to the southwest of where the high school used to be and



Figure 6: Historic Photograph of West End High School (Moore County History 2016).

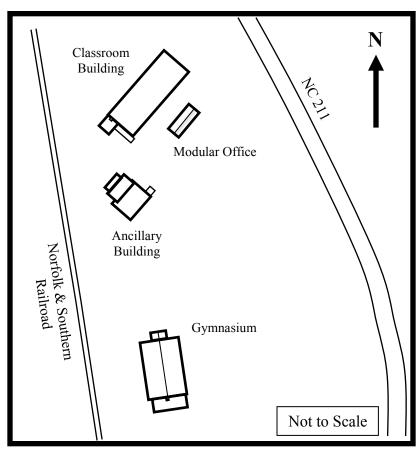


Figure 7: Sketch Map of the West End High School.

predates 1950 (Figure 8 and 9). By 1964, a one-story, flat-roofed free standing classroom building was constructed behind the original high school, and a smaller one-story, flat-roofed ancillary building, was built to the west (Figures 10 through 12). The latter was later used as a senior center. The property is still owned by Moore County, who in more recent years placed a modular office structure in front of the surviving classroom wing (Figure 13).

Interior

The surveyor did not obtain access to the interior of the buildings at the time of the survey, since they are not permanently occupied and partially abandoned.

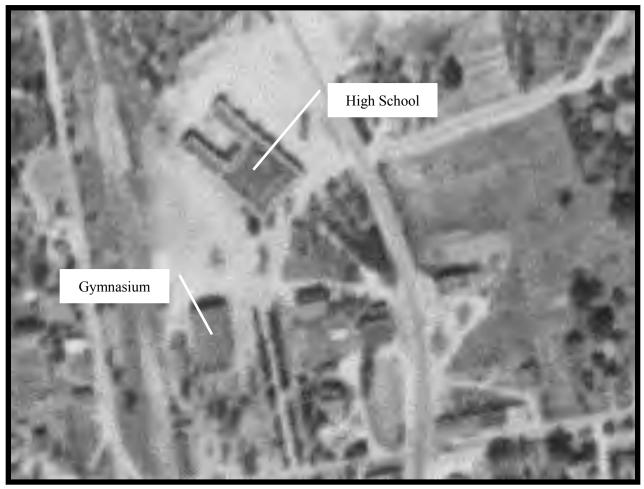


Figure 8: Detail of 1950 Aerial Showing West End High School (EarthExplorer 2017a).



Figure 9: West End High School, Gymnasium Looking Southwest.

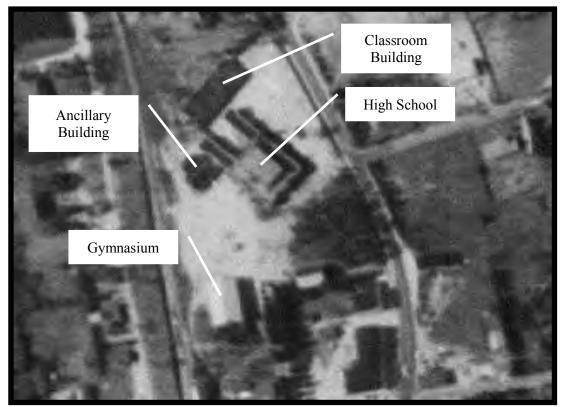


Figure 10: Detail of 1964 Aerial Showing West End High School (EarthExplorer 2017b).



Figure 11: West End High School, Classroom Building Looking Northwest.



Figure 12: West End High School, Ancillary Building Looking Northwest.



Figure 13: West End High School, Modular Office Looking Northwest.

Historical Background

Designed by Marion Stuart Davis, the new West End High School was under construction by April of 1927. Davis, a civil engineer and architect, also served as the superintendent of buildings at Louisburg College, in Franklin County and designed several of its buildings, as well as other buildings in Franklin County (Figure 14).⁶ The building was constructed of brick and had a fireproof roof. It contained eight classrooms, an auditorium, library, offices, and "all modern conveniences," and cost \$35,000.⁷ A newspaper article praised the new West End High School, and other new schools that had been built across Moore County as a sign of progress and a credit to any community.⁸ West End High School was closed in 1969 and the original school building demolished in 1986.

⁶ Maury York, Architect Marion Davis had major impact on County, The Franklin Times, December 24, 2015, page 7A.

⁷ *The Pilot*, April 1, 1927, front page.

⁸ The Pilot, April 8, 1927, page 4.

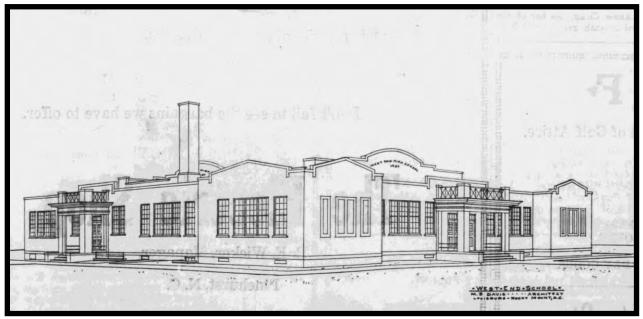


Figure 14: Architect's Drawing of West End High School (Pilot 1927).

Integrity

The main building of the West End High School no longer survives. The gymnasium and new classroom and ancillary buildings do survive and remain in their original location. The design of the original high school was reflective of early-twentieth century architectural practices and styles seen on educational buildings across North Carolina and the United States. The gymnasium is typical of similar buildings of its kind, and the classroom and ancillary buildings are reflective of school-building design practiced during the 1960s. However, because of the loss of the main building the property can no longer convey its historic feeling. The property is associated with Moore County's education history representing the county's efforts to expand and modernize its public school facilities in both urban and rural areas, and it is also associated with the evolution of small rural crossroads communities that coincided with the arrival of the railroad during the last part of the nineteenth century and the beginning of the twentieth century.

Property Description Sinclair House (# 003//MR1382), ca. 1932 117 Von Canon Drive

Exterior

The Sinclair House is a modest one-story, side-gabled, Craftsman-style dwelling with a large front-gabled porch, supported by brick columns, which shelters the three bays on the southwest (front) elevation of the dwelling. A gable-roofed wing, with a screened in porch along its southeast (side) elevation, extends off the northeast (rear) elevation of the main block. A brick chimney pierces the roof just below the ridge on the rear slope of the main block, and an exterior brick chimney is located against the northwest gable end. The dwelling sits on a continuous brick foundation, is clad in cedar shingles, has six-over-one wooden sash windows, and gallows brackets that support the overhang of the roof on the gable ends (Figures 15 through 17).

Interior

The dwelling does not appear to be occupied and the surveyor did not obtain access to the interior at the time of the survey.

Outbuildings

Located behind the dwelling is a small front-gabled frame garage also clad in cedar shingles (Figure 18).



Figure 15: Sinclair House, Looking Northeast.



Figure 16: Sinclair House, Looking Northwest.



Figure 17: Sinclair House, Looking Southwest.



Figure 18: Sinclair House, Garage, Looking Northeast.

Historical Background

The parcel on which the house sits was conveyed to J. F. Sinclair by F. W. Von Canon in February 1932.⁹ Von Canon had received the land four years earlier from the Moore County Board of Education.¹⁰

Integrity

The dwelling remains in its original location and retains much of its original setting. The design of the dwelling is typical of the Craftsman style that was popular during the early-twentieth century. The house retains a fair level of materials and workmanship, with the survival of the original siding and windows. Because of the integrity of materials and workmanship the property can still convey its historic character and feeling. The property is associated with the growth of West End during the first half of the twentieth century.

 ⁹ Moore County Deed Book 113, page 194.
 ¹⁰ Moore County Deed Book 105, page 288.

Property Description West End Presbyterian Church (# 008//MR1387), ca. 1922 275 Knox Lane

Exterior

The West End Presbyterian Church is a hip-roofed, brick, Colonial Revival-style church, with an impressive temple-front portico, supported by four classical brick pillars, which shelters the double entry door on the east (front) elevation of the building. A large fanlight window tops the doors and single sidelights flank it. A brick arch with a large keystone, frame the fanlight. Triple sash windows, with brick flat arches and keystone flank the temple front portico. A two tiered belfry sits on the roof of the portico, and a small fanlight window pierces the pedimented front. Large twelve-over-one wooden sash windows, with fanlight transoms pierce the walls of the sanctuary. In 1950, a one-story, gable-roofed education building was constructed off the south (side) elevation of the sanctuary near the west (rear) elevation. In 1992, sanctuary was enlarged, and in 1993, a new classroom and office wing was constructed off the southwest corner of the sanctuary (Figures 19 through 23).

Interior

The double entry doors in the east (front) elevation of the church open into a shallow vestibule, which gives access to the sanctuary at three points. A stair in the northeast corner of the vestibule leads to the balcony. Plain pews line a central aisle, which leads to the altar. The expansion of the sanctuary created an area for the choir, which is flanked by the organ. A door in the south wall of the sanctuary, near the altar, leads into the education building and the more modern additions (Figures 24 and 25).

Ancillary Structures

Located to the north of the sanctuary is a manse, which the church constructed in 1952. It is a one-story, side-gabled Ranch-style dwelling with an exterior brick chimney on the east (front) elevation of the building. The building is partially banked on the north gable end, were there is an integral one-car garage. The building is clad in stretcher-bond brick and has horizontal two-over-two wooden sash windows (Figures 26 and 27). A large, one-story, side-gabled activities center was constructed northwest of the church around 2000 (Figure 28).

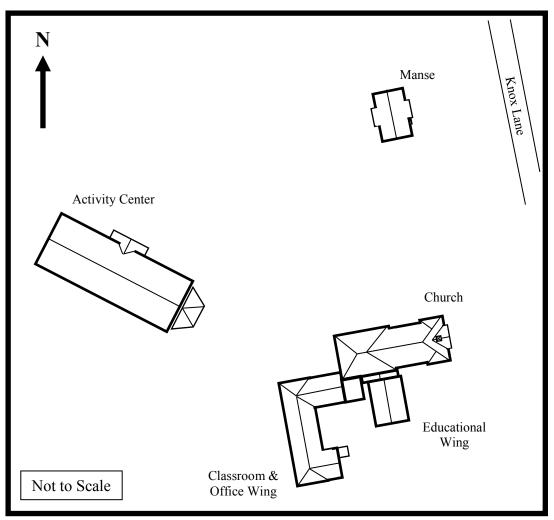


Figure 19: Sketch Map of the West End Presbyterian Church.



Figure 20: West End Presbyterian Church, Looking Northwest.



Figure 21: West End Presbyterian Church, Looking Southeast.



Figure 22: West End Presbyterian Church, Educational Wing, Looking Northeast.



Figure 23: West End Presbyterian Church, Classroom & Office Wing, Looking Northwest.



Figure 24: West End Presbyterian Church, Sanctuary, Looking East. 21



Figure 25: West End Presbyterian Church, Sanctuary, Looking West.



Figure 26: West End Presbyterian Church, Manse, Looking Southwest.



Figure 27: West End Presbyterian Church, Manse, Looking South.



Figure 28: West End Presbyterian Church, Activity Center, Looking Northwest.

Historical Background

The land on which the West End Presbyterian Church sits was conveyed to the church by M. C. McDonald in 1921.¹¹ The seeds for a congregation in West End had been sown in 1908.¹² Previously families had attended services at Bensalem, Culdee, and Jackson Springs Presbyterian churches in the area. Monthly services were at times also held in a local drugstore (see # 009), and later in the old county schoolhouse. The church was officially organized in 1912. M. C. McDonald donated the land in 1921, and in 1922, the congregation met for the first time in its new sanctuary. As the town grew so did the congregation and the church, and by 1927 the membership had grown to 100. In 1950, the educational wing was added to the original sanctuary, and in 1952, a manse was constructed for the church's first full-time pastor, the Reverend Hogan Yancey. The steeple was replaced in 1984, and the sanctuary enlarged in 1992. The following year a new classroom and office wing was constructed off the southwest corner of the sanctuary. In 2000, a large activity center was dedicated northwest of the original church.

Integrity

The church remains in its original location and much of its setting is still semi-rural, as it is located on the west side of the railroad and just northwest of the intersection of NC 73 and NC 211. Its design is a more high-style example of a Colonial Revival churches as they were constructed during the first half of the twentieth century. The property still functions as a church and as such still conveys its historic feeling. However, the alterations to the original sanctuary have diminished its integrity. The building is associated with the growth of Presbyterianism in Moore County, and North Carolina, as well as the growth of small rural crossroads communities during the first half of the twentieth century.

Property Description Dr. Currie's Drug Store (# 009//1388), ca. 1890 213 Knox Lane

Exterior

This store is a one-story, three-bay, front-gabled building with an integral, off center, frontgabled porch, supported by two plain posts, which shelters a door bay and a single window bay on the south (front) gable end. A double window flanks the porch to the right. Three doors pierce the north (rear) gable end of the building, suggesting there may have been a section off the back. Either an enclosed rear wing, or a wing with a porch along one side elevation. The dwelling sits on brick piers and is clad in German, or drop, siding. At some point the windows where shortened at the top blocking the top row of lights on the four-over-four and six-over-six wooden sash windows (Figures 29 through 32).

Interior

The building appears to be abandoned and the surveyor did not obtain access to the interior at the time of the survey.

¹¹ Moore County Deed Book 81, page 352.

¹² The history is culled from a centennial pamphlet published in 2012. Larry Lyon and Ann Chase, *History of West End Presbyterian Church*, 2012.



Figure 29: Dr. Currie's Drug Store, Looking Northeast.



Figure 30: Dr. Currie's Drug Store, Detail of Door and Window Bay on Front Gable End.



Figure 31: Dr. Currie's Drug Store, Looking Southwest.



Figure 32: Dr. Currie's Drug Store, View of North (Rear) Gable End. 26

Historical Background

The land on which the build sits was originally part of the holdings of Daniel A. McDonald. In 1922, T. C. Currie conveyed the land to W. A. Johnson.¹³ According to local history, it is one of two buildings, which survived the "Great Fire" of 1898, the other being the railroad depot.¹⁴ The latter has since been relocated to a different location. The building was also used for meetings of the West End Presbyterian Church before they built their new sanctuary.¹⁵

Integrity

The building remains in its original location. Its design is reminiscent of a modest example of a front-gabled Craftsman-style dwelling, which may suggest that it is not as old a local history suggests, or that it was remodeled during the early twentieth century. The property is currently not occupied and has lost some of its integrity, due to the changes to the windows and the loss of a rear wing or porch, and as such no longer conveys its historic character and feeling. The building is associated with the development of small rural crossroads communities during the late nineteenth and early twentieth centuries.

Property Description House (# 010//MR1389), ca. 1950 215 Knox Lane

Exterior

One-story, side-gabled dwelling with an enclosed front-gabled porch that partially covers the south (front) elevation of the dwelling. The building is clad in stretcher-bond brick and has six-over-six wooden sash windows (Figures 33 and 34).

Interior

The building is abandoned and surveyor did not obtain access to the interior at the time of the survey.

Historical Background

The land on which the build sits was originally part of the holdings of Daniel A. McDonald. In 1923, M. C. McDonald conveyed the land to W. A. Johnson.¹⁶ W. A. Johnson had purchased the adjoining lot with the drug store the previous year. In 1944, the Johnson Improvement Company, conveyed both parcels to Z. B. Conrad.¹⁷

Integrity

The building remains in its original location. Its design is reminiscent of the Minimal Traditional style popular around World War II. The property is currently not occupied and deteriorated, and as such no longer conveys its historic character and feeling. The building is associated with the development of communities during the middle of the twentieth century.

¹³ Moore County Deed Book 87, page 50.

¹⁴ Dorothy K. Thomas, "West End," in *Moore County Heritage, North Carolina, Volume I, 2005*, The Moore County Heritage Book Committee and County Heritage, Inc., p. 70.

¹⁵ Larry Lyon and Ann Chase, *History of West End Presbyterian Church*, 2012.

¹⁶ Moore County Deed Book 87, page 100.

¹⁷ W. A. Johnson had conveyed both parcels to the Johnson Improvement Company in 1934, Moore County Deed Book 119, page 238. Johnson Improvement Company to Z. B. Conrad, Moore County Deed Book 144, page 507.



Figure 33: House, Looking Northwest.



Figure 34: House, Looking Southwest.

Property Description J. B. Von Canon House (# 011//MR1390), ca. 1903 **187 Old Troy Road**

Exterior

Two-story dwelling with a triple-A roof, and later additions on the north and south gable ends. A one-story, gable-roofed wing extends off the west (rear) elevation of the main block and originally gave the dwelling an L-shaped footprint. Located off the northwest corner of the rear wing is a one-story, side gabled wing. An enclosed, hip-roofed porch, runs along the south (side) elevation of the rear wing, and continues along the rear elevation of the main block. The dwelling has two corbelled brick chimneys against the rear elevation of the main block and was originally clad in German, or drop, siding. The front of the dwelling was clad in brick veneer, when a two-story, hip-roofed addition was constructed against the north gable end of the main block. The two-story, hip-roofed sunroom/sleeping porch against the south gable end may predate the brick addition, but was clad in brick veneer at the same time. At the same time a full height portico was added on the front elevation, which partially extends across the brick addition. The hip-roofed portico has a decorative cross gable and is supported by colossal battered-box columns (Figures 35 through 37).

Interior

The building is currently not occupied and the surveyor did not obtain access to the interior at the time of the survey.

Outbuilding

Located behind the dwelling is a front-gabled frame building. It appears the framing and siding on the side elevations may have been removed at some point (Figure 38).

Historical Background

James Bobbit Von Canon (1864-1941) purchased his first two acres of land in West End, from M. C. McDonald, in 1903.¹⁸ He purchased an additional five acres the following year from D. A. McDonald, and another one-acre parcel from M. C. McDonald in 1909.¹⁹ Von Canon operated a shingle mill in West End and had a productive farming operation. In 1910, he managed to produce 1939 bushels of corn of one-acre of land using fertilizer.²⁰ Peaches were also an important source of income for the area, and in 1927, J. B. Von Canon, sold \$50,000 worth of peaches.²¹ It was apparently after this bumper crop that Von Canon pulled up the orchard and started the Sandhill Furniture Company, which was bought by Stanley Furniture Company in 1965.²²

Integrity

The building remains in its original location. Its design is typical of a turn of the twentieth century vernacular dwelling built across much of North Carolina from the late nineteenth to the early twentieth century. The property is currently not occupied and due to the additions and the

¹⁸ Moore County Deed Book 29, page 223.

¹⁹ Moore County Deed Book 29, page 222, and Deed Book 81, page 331.

²⁰ The Pinehurst Outlook, February 27, 1915, page 4.

²¹ Thomas, page 70.
²² Ibid.



Figure 35: J. B. Von Canon House, Looking Southwest.



Figure 36: J. B. Von Canon House, Looking East.



Figure 37: J. B. Von Canon House, Looking Northeast.



Figure 38: J. B. Von Canon House, Outbuilding, Looking Southwest.

application of brick veneer can longer convey its historic feeling. The building is associated with J. B. Von Canon, the head of one of the leading families in West End during the first half or the twentieth century, and the development of small crossroads communities during the same period.

Property Description Morris House (# 016//MR1394), ca. 1918 5363 NC 211

Exterior

The Morris House is an I-house with a triple-A roof, and a hip-roofed porch, supported by turned posts, which shelters three bays on the north (front) elevation of the dwelling. A one-story, gable-roofed wing extends off the south (rear) elevation of the dwelling, and has a one-story gable-roofed wing, of its east (side) elevation creating an L-shaped rear section. The building sits on a brick foundation, is clad in plain weatherboard siding, has four-over-four wooden sash windows, and a pressed-metal roof. Two brick flues pierce the roof on the two-story section, and single brick flues pierce the ridge of each of the sections of the wing (Figures 39 and 40).

Interior

The building is currently used as an antique store, and appears to retain some of its original features. The main part of the dwelling has a two-room plan. It may originally have had a center passage. The walls have narrow beaded-board wainscot and panels with battens above. The latter may have replaced the original lath-and-plaster walls. The doors have plain surrounds, which also may be a later addition. An open flight of stairs, with a square newel post and simple square balusters, gives access to the second floor. The stair makes a turn at a small landing, about two-thirds up (Figure 41).



Figure 39: Morris House, Looking Southeast.



Figure 40: Morris House, Rear Wings, Looking Northeast.



Figure 41: Morris House, Interior.

The land, on which the house sits, was originally conveyed by D. A. McDonald to M. C. McDonald, in 1914.²³ In 1918, M. C. McDonald, conveyed a 1³/₄-acres tract of land to Mrs. Minnie P. Morris, which also comprises the parcel with the commercial block and the filling station discussed above.²⁴ In 1948, the parcel was conveyed to Richard North Lewis, Robert Blake Lewis, Jr., and Nelle Lewis Markham.²⁵ Nelle Lewis Markham ultimately conveyed the property to the current owners in 1975, the McNeill Oil Company.²⁶

Integrity

The building remains in its original location and retains much of its original setting. The design of the building is typical of late-nineteenth to early-twentieth century vernacular-style architecture popular across much of North Carolina. The building retains a modest level of integrity with respect to materials and workmanship. The building is associated with the growth of small rural crossroads communities during the twentieth century.

Property Description Tucker House (# 017//MR1395), ca. 1929 4049 NC 73

Exterior

The Tucker House is a modest example of a Spanish Revival-style dwelling. The small, onestory, front-gabled dwelling has a partially enclosed integral front-gabled porch, with arched openings, that shelters the entry door and a tripartite picture window, on the north (front) gable end. A second tripartite picture window flanks the porch to the right. Located against the east (side) elevation is a partially exterior fieldstone chimney, flanked by six-over-six wooden sash windows. Located against the south (rear) gable end of the dwelling is a slightly narrower gableroofed wing. A small gable-roofed hyphen connects the wing to a gable-roofed section, which is placed perpendicular to the dwelling. A simple shed-roofed porch, connects the wing, the hyphen and the gable-roofed section on the east side. A one-car garage is attached to the southeast corner of the main block. The dwelling sits on a brick foundation and the walls are stuccoed with stone-veneer detailing, below the windows and flanking the entry door and the garage door (Figures 42 and 43).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.

²³ Moore County Deed Book 60, page 80.

²⁴ Moore County Deed Book 64, page 499.

²⁵ Moore County Deed Book 160, page 289.

²⁶ Moore County Deed Book 401, page 826.



Figure 42: Tucker House, Looking Southwest.



Figure 43: Tucker House, Looking Northwest.

The land, on which the house sits, was originally conveyed by D. A. McDonald to M. C. McDonald, in 1914.²⁷ In 1918, M. C. McDonald, conveyed a 1³/₄-acres tract of land to Mrs. Minnie P. Morris.²⁸ In 1929, the conveyed a part of this land to M. H. Tucker and his wife.²⁹ The Tuckers sold the property in 1957.³⁰

Integrity

The building remains in its original location and retains much of its original setting. The design is a modest example of the Spanish Revival style, which was part of a national trend between ca. 1915 and 1940. It may have been inspired by a design from a Montgomery-Ward's mail-order homes catalog or *Sears Modern Homes* catalog (Figure 44). The building retains a modest level of integrity with respect to materials and workmanship. The building is associated with changing architectural sensibilities during the first half of the twentieth century and with the growth of small rural crossroads communities.



Figure 44: Spanish Bungalow, *Barcelona*, from Montgomery-Ward's Mail-Order Homes Catalog (Sears Modern Homes 2017).

²⁷ Moore County Deed Book 60, page 80.

²⁸ Moore County Deed Book 64, page 499.

²⁹ Moore County Deed Book 108, page 8.

³⁰ Moore County Deed Book 217, page 312.

Property Description House (# 018//1396), ca. 1939 4041 NC 73

Exterior

Small, one-story, side-gabled concrete block dwelling, with a wide one-story gable-roofed wing off the south (rear) elevation, which gives the dwelling a rectangular footprint. Decorative concrete block pilasters support a small shed roof, which shelters the entry door on the north (front) elevation. Located against the west (side) gable end is a partially exterior decorative concrete block chimney. A simple shed-roofed porch, supported by plain studs, with decorative brackets shelters part of the south (rear) gable end of the rear wing. The walls of the building are stuccoed and the dwelling has six-over-six wooden sash windows. A brick flue pierces the ridge of the roof at the center of the rear wing (Figures 45 and 46).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.

Outbuildings

Located behind the dwelling is a gable-roofed well house, and a shed-roofed outbuilding, with windows in the north elevation and an entry door, and sliding garage door in the west elevation (Figure 47).



Figure 45: House, Looking Southeast.



Figure 46: House, Looking Northeast.



Figure 47: House, Outbuildings, Looking Southeast.

The land, on which the house sits, was originally conveyed by D. A. McDonald to M. C. McDonald, in 1914.³¹ In 1918, M. C. McDonald, conveyed a 1³/₄-acres tract of land to Mrs. Minnie P. Morris.³²

Integrity

The building remains in its original location and retain much of its original setting. The design is that of a small common vernacular dwelling executed in concrete block. The building retains a modest level of integrity with respect to materials and workmanship. The building is associated with the growth of small rural crossroads communities during the twentieth century.

Property Description Charles Ritter House (# 020//MR1397), ca. 1911 4020 NC 73

Exterior

The Ritter House is an I-house with a triple-A roof. A hip-roofed porch, supported by heavy chamfered posts, shelters three bays on the south (front) elevation of the building. A short, two-story gable-roofed wing extends off the north (rear) elevation of the main block, and has a one-story gable-roofed section against its north (rear) gable end. An enclosed shed-roofed porch runs along the east (side) elevation of the two sections of the rear wing and extends into a hip-roofed section against the rear elevation of the main block. The dwelling sits on a brick pier foundation with rusticated concrete block infill, is clad in German, or drop, siding, and has six-over-one wooden sash windows. Located against the east gable end of the main block is a single-shouldered brick chimney with a corbelled top. An interior brick chimney with a corbelled top pierces the ridge of the two-story rear wing (Figures 48 and 49).

Interior

The dwelling is abandoned and the surveyor did not obtain access to the interior at the time of the survey.

Outbuilding

Located behind the dwelling is a front-gabled storage shed, with a engaged shed section along its west (side) elevation (Figure 50).

³¹ Moore County Deed Book 60, page 80.

³² Moore County Deed Book 64, page 499.



Figure 48: Ritter House, Looking Northwest.



Figure 49: Ritter House, Looking Southwest.



Figure 50: Ritter House, Outbuilding, Looking Northeast.

The land, on which the house sits, was originally conveyed by D. A. McDonald to Charles Ritter, in 1911.³³ Charles Ritter died intestate in 1946, and his heirs ultimately conveyed the land to Mary Anne Ritter in 1959.³⁴

Integrity

The building remains in its original location and retains some of its original setting. The approximately five-acre parcel was originally not wooded. The design of the building is typical of late-nineteenth to early-twentieth century vernacular-style architecture popular across much of North Carolina. The building is not occupied and shows signs of deterioration, but retains a modest level of integrity with respect to materials and workmanship. The building is associated with the growth of small rural crossroads communities during the twentieth century.

 ³³ Moore County Deed Book 49, page 445.
 ³⁴ Moore County Deed Book 232, page 649.

Property Description Sutphin House (# 021//MR1398), ca. 1939 3985 NC 73

Exterior

Known as the Sutphin House, the dwelling has a rambling footprint. The one-story, side-gabled dwelling has two projecting front-gabled bays on the north (front) elevation of the building. The larger of the two bays flanks the entry door to the left and has a triple window in the north (front) gable end. Located against its west (side) elevation, where it meets with the main block, is an exterior brick chimney with stone detailing. A shorter bay is located to the right of the entry, and has a single window. The main dwelling continues west past the shorter bay and has a polygonal bay window on its front elevation. Located against its west gable end is an exterior brick chimney with stone detailing, and a small front gabled portico shelters an entry door. The dwelling sits on an unusual foundation consisting of alternating courses of brick and rocks, is clad in aluminum siding, and has six-over-six wooden sash windows (Figures 51 through 53).³⁵

Interior

The owner did not grant access to the interior of the building at the time of the survey.



Figure 51: Sutphin House, Looking Northeast.

³⁵ The current owner did not allow access behind the dwelling.



Figure 52: Sutphin House, Detail of Chimney.



Figure 53: Sutphin House, Detail of Foundation.

Part of the tract of land on which the house sits was conveyed by J. B. Von Canon to Fred Von Canon in 1929.³⁶ The other part was conveyed to Elizabeth Von Canon by Ruth Sutphin in 1934.³⁷ The exact chain of title is not completely clear, but in 1955, Anna W. Cochrane conveyed the parcel to William J. Sutphin.³⁸ The Sutphin family subsequently held on to the property until 2000.³⁹

Integrity

The building remains in its original location and retains much of its original setting. The design appears to be an eclectic mix of architectural trends that were popular during the first half of the twentieth century, perhaps most reminiscent of the Tudor style with the placement of the chimney and the multiple gables. The building retains a modest level of integrity with respect to materials and workmanship. The building is associated with changing architectural sensibilities during the first half of the twentieth century and with the growth of small rural crossroads communities.

Property Description House (# 022//MR1399), ca. 1928 3976 NC 73

Exterior

One-story, front-gabled Craftsman-style dwelling with a shed-roofed porch, supported by square shingled columns on brick pedestals, which shelters the two of the three bays on the south (front) gable end. The porch extends into a gable-roofed wing off the west (side) elevation. A shallow hip-roofed section runs across the north (rear) gable end of the dwelling. The dwelling sits on a continuous brick foundation and is clad in wood singles, which have been painted on the main block. It has nine-over-one wooden sash windows and a large window with a leaded-glass transom flanks the entry door to the left on the front gable end. Gallows brackets support the overhang of the roof on the gable ends and a brick chimney with a corbelled top pierces the rear slope of the side wing where it meets with the main block. A concrete block flue was later constructed against the west (side) elevation of the dwelling (Figures 54 and 55).

Interior

The dwelling is abandoned and the surveyor did not obtain access to the interior at the time of the survey.

Historical Background

The exact history of the tract of land and the house is unclear. In 1985, Michael McInnes conveyed the parcel to Kelvin Clark.⁴⁰ The deed does refer to J. B. Von Canon's subdivision, which dates back to the 1940s.

³⁶ Moore County Deed Book 108, page 12.

³⁷ Moore County Deed Book 114, page 468.

³⁸ Moore County Deed Book 198, page 57.

³⁹ Moore County Deed Book 1647, page 367.

⁴⁰ Moore County Deed Book 533, page 451.



Figure 54: House, Looking North.



Figure 55: House, Looking Southeast.

Integrity

The building remains in its original location and retains much of its original setting. The design is typical of a modest front-gabled Craftsman-style dwelling as was popular during the first three decades of the twentieth century, and retains a high level of integrity with respect to materials and workmanship. The building is associated with changing architectural sensibilities during the first half of the twentieth century and with the growth of small rural crossroads communities.

Property Description House (# 023//MR1400), ca. 1950 3964 NC 73

Exterior

One-story, hip-roofed dwelling with an irregular footprint. The dwelling has a jog in the northwest (front) elevation, with the entry door being located in the northeast (side) wall of the jog. A second door is located in near the southeast corner on the northeast (side) elevation of the dwelling. A short gable-roofed wing extends off the southeast (rear) elevation of the dwelling. The dwelling sits on a concrete block foundation, is clad in vinyl German, or drop, siding, and has one-over-one vinyl sash replacement windows. A brick chimney pierces the ridge of the roof at the center of the dwelling (Figures 56 and 57).

Interior

The owner did not grant access to the interior of the building at the time of the survey.

Outbuilding

Located behind the dwelling is a front-gabled, concrete block one-car garage (Figure 58).

Historical Background

The parcel on which the house sits is identified as Lot 1 in Block A of the J. B. Von Canon subdivision, which dates back to 1946 (see Figure 86). In 1955, William J. Sutphin conveyed the property to Anna W. Cochrane.⁴¹

Integrity

The building remains in its original location and retains much of its original setting. The design is typical of hip-roofed Minimal Tradition-style dwellings built in the late 1940s, and retains a low level of integrity with respect to materials and workmanship. The building is associated with changing architectural trends during the twentieth century and with the growth of small rural crossroads communities.

⁴¹ Moore County Deed Book 198, page 66.



Figure 56: House, Looking Southwest.



Figure 57: House, Looking Northwest.



Figure 58: House, Garage Looking Southeast.

Property Description Forest Von Canon House (# 024//MR1401), ca. 1935 3941 NC 73

Exterior

One-and-a-half-story, side-gabled dwelling with a hip-roofed porch with a projecting crossgabled section, which shelters three bays on the northwest front elevation. Square posts support the porch. A gable-roofed dormer, with a double window, sits on the front slope of the roof, and exterior brick chimneys are located against the pent-roof enclosed northeast and southwest gable ends. Two, one-story, hip-roofed wings extends off the southeast (rear) elevation of the main block. The longer of the two is located on the left side of the rear elevation and has a small shedroofed porch along its northeast (side) elevation. The shorter of the two wings is located to the right and appears to have functioned as a sunroom. The dwelling sits on a brick foundation, is clad in vinyl siding, and has one-over-one vinyl sash replacement windows, and eight-over-one vinyl sash replacement windows flanking the entry door on the front elevation (Figures 59 and 60).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.



Figure 59: Forest Von Canon House, Looking Southeast.



Figure 60: Forest Von Canon House, Looking Northwest.

The parcel is made up of sections of Lot 2 and 3 in Block A of the J. B. Von Canon, Jr. subdivision (see Figure 86). J. B. Von Canon, Jr., conveyed Lot 2 to Lucile M. Eifort in 1946.⁴² In 1961, Von Canon conveyed Lot 3, to Lucile Eifort.⁴³ At some point the combined tracts were subdivided creating an approximately 0.3-acre tract out of the southern end of Lot 2 and 3.

Integrity

The building remains in its original location and retains much of its original setting. The design combines features of the Queen Anne style and the Craftsman style popular during the last part of the nineteenth century and the first half of the twentieth century. The dwelling retains a low level of integrity with respect to materials and workmanship. The building is associated with the growth of small rural crossroads communities.

Property Description House (# 025//MR1402), ca. 1950 108 Beauty Road

Exterior

One-story, side-gabled dwelling, with a projecting front-gabled bay on the east (front) elevation of the dwelling. An engaged shed-roofed porch, supported by plain posts, flanks the projecting bay to the left and shelters the entry door and a double window on the front elevation. A deep engaged shed, with a small recessed porch, extends across the west (rear) elevation of the main block. The dwelling is clad in stretcher-bond brick and has six-over-six vinyl sash replacement windows (Figures 61 and 62).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.

Historical Background

The parcel is made up of southern sections of Lot 2 and 3 in Block A of the J. B. Von Canon, Jr. subdivision (see Figure 86). J. B. Von Canon, Jr., conveyed Lot 2 to Lucile M. Eifort in 1946.⁴⁴ In 1961, Von Canon conveyed Lot 3, to Lucile Eifort.⁴⁵ At some point the combined tracts were subdivided creating an approximately 0.3-acre tract out of the southern end of Lot 2 and 3 on which the dwelling sits.

Integrity

The building remains in its original location and retains much of its original setting. The design is typical of Minimal Traditional-style houses built around World War II. The dwelling retains a low level of integrity with respect to materials and workmanship. The building is associated with the growth of small rural crossroads communities.

⁴² Moore County Deed Book 150, page 207. The deed mentions that the tract of land embraces the original home of Forest Voncanon [sic].

⁴³ Moore County Deed Book 245, page 122.

⁴⁴ Moore County Deed Book 150, page 207.

⁴⁵ Moore County Deed Book 245, page 122.



Figure 61: House, Looking Northwest.



Figure 62: House, Looking Southeast.

Property Description House (# 026//MR1403), ca. 1910 3925 NC 73

Exterior

One-story, side-gabled dwelling, with a hip-roofed porch, supported by batter-box columns on brick pedestals, which shelters the four bays on the north (front) elevation. The porch wraps around the east gable end where it continuous along one of the east elevation of one of the rear wings, and is enclosed. A short and a long gable-roofed wing extends off the south (rear) elevation of the main block. The side elevation of the short wing is flush with the west gable end of the main block and the long wing with the east gable end. Located between the two wings is a peculiar hip-roofed section, which extends into a shed-roofed addition which extends just past the shorter of the two wings. The dwelling is clad in a combination of plain weatherboard siding, German, or drop, siding, and T1-11 siding, and has a variety of wooden sash windows, including two-over-two and six-over-six (Figures 63 and 64).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.

Historical Background

The parcel on which the house sits was part of a 50-acre tract of land conveyed by J. W. Hauser to D. B. Smith in 1921.⁴⁶ Smith conveyed the land to T. C. Auman in 1944.⁴⁷ Auman sold the 1.3-acre parcel with the house on it to Edward J. Gainey in 1972, whose family still owns the property.⁴⁸

Integrity

The building remains in its original location and retains much of its original setting. The design is typical of vernacular-style dwellings built around the turn of the twentieth century. The dwelling retains a low level of integrity with respect to materials and workmanship, due to the alterations and neglect. The building is associated with the growth of small rural crossroads communities.

⁴⁶ Moore County Deed Book 81, page 437.

⁴⁷ Moore County Deed Book 141, page 448.

⁴⁸ Moore County Deed Book 360, page 135.



Figure 63: House, Looking Southwest.



Figure 64: House, Looking Northeast.

Property Description Fletcher House (# 027//MR1404), ca. 1912 118 Vivian Street

Exterior

One-and-a-half-story, hip-roofed Queen Anne-style dwelling, with a hip-roofed porch, supported by square posts, which extends along the southeast (front) elevation and wraps around the northeast (side) elevation. A slightly projecting front-gabled bay, with a polygonal bay window, flanks the entry door to the left on the front elevation, and a small hip-roofed dormer with a double window sits on the front slope of the roof. Typical of the Queen Anne style are the projecting front gabled bays on the different elevations of the dwelling. A one-and-a-half-story, gable-roofed wing extends off the northwest (rear) elevation of the main block. A one-story hip-roofed section extends along the northeast (side) elevation of the rear wing and wraps around its northwest (rear) gable end. Located against the southwest (side) elevation of the rear wing, where it meets with the main block, is a small rectangular hip-roofed section. The dwelling sits on a brick foundation and is clad in vinyl siding, with one-over-one vinyl sash replacement windows. Two interior brick chimneys, with corbelled tops, pierce the side slopes of the roof on the main block (Figures 65 and 66).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.

Historical Background

The current parcel comprises of Lot 21 and 22 of the subdivision of the Fletcher Farm (Figure 67).⁴⁹

Integrity

The building remains in its original location and retains much of its original setting. The design is typical of a so-called Queen Anne-style cottage built around the turn of the twentieth century. The dwelling retains a low level of integrity with respect to materials and workmanship, due to the alterations. The building is associated with the growth of small rural crossroads communities.

⁴⁹ Moore County Map Book 2, page 88.



Figure 65: Fletcher House, Looking Northwest.



Figure 66: Fletcher House, Looking Southwest.

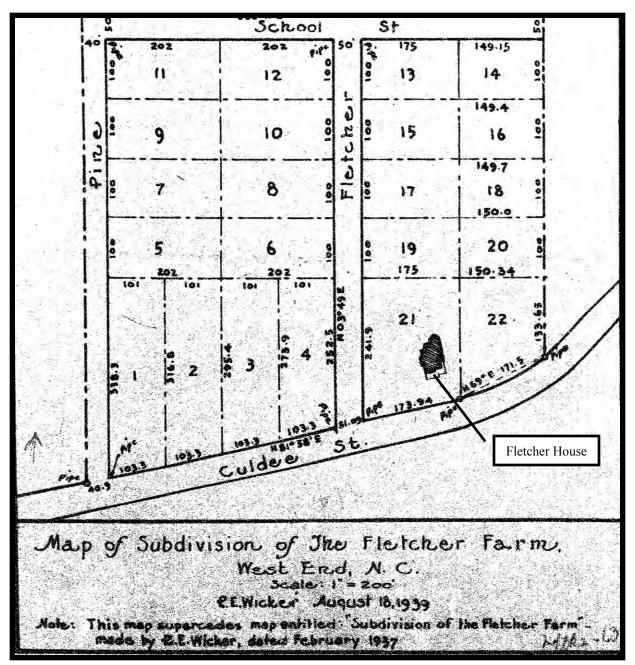


Figure 67: Detail of Plat Showing the Subdivision of the Fletcher Farm (Moore County Register of Deeds, Map Book 2, page 88). Note location of dwelling.

Property Description Wilson-Cochran House (# 028//MR0558), ca. 1913 3840 NC 73

Exterior

The Wilson-Cochran House is a one-and-a-half-story, side-gabled dwelling, with a hip-roofed porch, supported by classical columns, which shelters three bays on the southeast (front) elevation. The porch has a centrally placed shallow-pitched cross gable and partially wraps around the northeast gable end. A front-gabled dormer with a double six-light window sits on the front slope of the roof. Located against the northeast gable end is a polygonal bay, and a small gable-roofed wing extends off the southwest gable end. An enclosed shed-roofed porch runs across the northwest (rear) elevation of the dwelling. The dwelling sits on a brick foundation, is clad in German, or drop, siding, and has a combination of six-over-one, eight-over-one, ten-over-one, and six-over-six wooden sash windows, with large twelve-over-one wooden sash windows flanking the entry. Decorative shingles fill the gable peaks. Located against the northeast gable end is an exterior brick chimney, and interior brick chimneys pierces the front and rear slopes of the roof (Figures 68 and 69).

Interior

The surveyor did not obtain access to the interior of the building at the time of the survey, since the residents were not at home.

Outbuilding

Located directly behind the dwelling is a flat-roofed carport.

Historical Background

The parcel on which the house sits was part of a 60-acre tract of land that was mortgaged by H. A. Page Jr., to the Cochran brothers in 1911.⁵⁰ The four Cochran brothers created a new enterprise in 1912, known as the Molenburg Farm Company, and as Page defaulted on his mortgage the Molenburg Farm Company sold 40 acres of the 60-acre tract to R. J. Wilson.⁵¹ Wilson in turn mortgaged the farm back to the Molenburg Farm Company, who conveyed him a one-acre lot.⁵² R. J. Wilson was a carpenter from Mecklenburg County and a previous survey has suggested he may have built the dwelling on the one-acre lot.⁵³

Integrity

The building remains in its original location and retains much of its original setting, although the area was not as wooded as it is now. The design is predominantly that of a Craftsman-style dwelling with some classical detailing, such as the hip-roofed porch with the classical columns, and is typical of the mixture of architectural styles that occurred during the first half of the twentieth century. The dwelling retains a high level of integrity on the exterior with respect to

⁵⁰ Moore County Mortgage Book 50, page 517

⁵¹ Moore County Deed Book 51, page 131.

⁵² Moore County Mortgage Book 20, page 235, and Moore County Deed Book 56, page 450.

⁵³ Adriana T. Lesiuk, NC 73 Relocation from NC 211 to East of Proposed NC 211 Bypass, Moore County, North Carolina, 2016, page 13.



Figure 68: Wilson-Cochran House, Looking Northwest.



Figure 69: Wilson-Cochran House, Looking Southwest.

materials and workmanship, but apparently has been remodeled on the interior.⁵⁴ The building is associated with the growth of small rural crossroads communities.

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory (#012//MR0557) and the West End United Methodist Church (#019//MR0572) were previously recorded and are located within the historic district. The complex that comprises the Moses C. McDonald House, Store, and Carolina Handkerchief Factory dates from between 1910 and 1935 and is recommended eligible for the NRHP under Criteria A and B. The West End United Methodist Church (#019//MR0572) was built around 1915, but retains insufficient integrity to be recommended eligible for the NRHP. In-depth evaluations are presented in later sections.

CORE OF WEST END COMMERCIAL AREA

Property Description Commercial Block (# 004//MR1383), ca. 1930 5310, 5312, 5314, 5316, and 5318 NC 211

Exterior

This two-story flat-roofed commercial building has a one-story, shed-roofed wing against its northwest (side) elevation. A simple hip-roofed porch, supported by plain posts shelters three business units on the two-story block, and a barbershop on the one-story wing. The two-story section has a stepped parapet wall. The building is clad in vinyl siding, and has vinyl sash replacement windows, with faux shutters on the second floor and the side elevations (Figures 70 and 71).

Interior

The buildings were not accessible at the time of the survey.

Historical Background

The land on which the commercial block sits was originally part of the holdings of D. A. McDonald. McDonald had conveyed land to the Aberdeen & Asheboro Railroad, which later became the Norfolk & Southern Railroad. It covered most of the area between the railroad in the west, NC 211 in the east, and Mode Road in the south. The Aberdeen & Asheboro Railroad had conveyed northern section to the Moore County Board of Education in 1906.⁵⁵ In 1912, the railroad company conveyed land to R. J. Cochran, which was located to the south of the "school lot."⁵⁶ Cochran conveyed the property in 1918 and it appears that the earliest commercial development took place after this date.⁵⁷

 ⁵⁴ Ibid. The building was determined not eligible in 2016, based on a survey reported in Lesiuk (2016).
 ⁵⁵ Moore County Deed Book 39, page 188.

 ⁵⁶ Moore County Deed Book 51, page 166.
 ⁵⁷ Moore County Deed Book 67, page 555.



Figure 70: Commercial Block, Looking Southwest.



Figure 71: Commercial Block, Looking Southwest.

Integrity

The buildings remain in their original location and retain much of their original setting. The design of the buildings is typical of early twentieth-century commercial buildings. The buildings retain a low level of integrity with respect to materials and workmanship, as the original windows have been replaced, vinyl siding applied, and the porch roof was altered or added. The buildings are associated with the evolution of small rural crossroads communities and the development of commercial properties during the beginning of the twentieth century.

Property Description Commercial Block (# 005//MR1384), ca. 1959 5326 & 5336 NC 211

Exterior

Two, connected, one-story, concrete-block buildings make up this commercial block. They both have stepped parapet walls with ridge tiles and a barrel vaulted metal roof. The building at 5326 NC 211 is placed lateral to the road. A metal awning shelters the double glazed entry doors, which are flanked by large double-light fixed store windows: one to the left, and four to the right. A shed-roofed wing extends off the west (rear) elevation of the building. At some point a partially enclosed frame shed addition was constructed against the rear elevation of the main block. The building at 5336 NC 211 is place perpendicular to the road. A metal pent roof spans much of the east (front) parapet wall, and shelters a double glazed entry door, which is flanked to the right by two large double-light fixed store windows to the right. A shed-roofed addition extends off the west (rear) parapet wall (Figures 72 through 75).

Interior

The buildings were not accessible at the time of the survey.

Outbuilding

Located behind the building at 5326 NC 211 is a front-gable concrete block building, which has been converted into a dwelling, but was probably a garage (Figure 76).



Figure 72: Commercial Block, Looking Northwest. Note, 5336 to the left and 5326 to the right.



Figure 73: Commercial Block, Looking Southwest. Note, 5336 to the left and 5326 to the right.



Figure 74: Commercial Block (5326), Looking Southeast.



Figure 75: Commercial Block (5336), Looking Northeast.



Figure 76: Commercial Block, Former Garage Looking Southwest.

The land on which the commercial block sits was originally part of the holdings of D. A. McDonald. McDonald had conveyed land to the Aberdeen & Asheboro Railroad, which later became the Norfolk & Southern Railroad. It covered most of the area between the railroad in the west, NC 211 in the east, and Mode Road in the south. The Aberdeen & Asheboro Railroad had conveyed northern section to the Moore County Board of Education in 1906.⁵⁸ In 1912, the railroad company conveyed land to R. J. Cochran, which was located to the south of the "school lot."⁵⁹ By 1959, the property is owned by E. P. Hinson. He conveyed the parcel on which 5326 NC 211 is located to W. A. Johnson, Jr., and the deed mentioned that Mr. Johnson already occupied a cinderblock building on the site from which he operated the Home Furniture Company.⁶⁰ The building shared a partition wall with the property located at 5336 NC 211. Hinson had conveyed that parcel the same day to H. L. Gordon.⁶¹ The deed mentions that the parcel is occupied by a cinder block mercantile building occupied by Mr. Gordon from which he operates the Red and White Supermarket.

Integrity

The buildings remain in their original location and retain much of their original setting. The design of the buildings is typical of mid-twentieth-century commercial buildings. The buildings retain a modest level of integrity with respect to materials and workmanship, as the original windows have been replaced. The buildings are associated with the evolution of small rural crossroads communities and the development of commercial properties during the second half of the twentieth century.

Property Description (former) Carolina Bank (# 006//MR1385), ca. 1960 136 Mode Road

Exterior

The (former) Carolina Bank is a modest one-story, flat-roofed mid-century modern building. The building has a rectangular footprint, with the roof projecting over sections on the south (front) and north (rear) elevations. On the front elevation the projecting roof shelters a slightly recessed entrance section consisting of double glazed doors, with a large fixed transom, and flanked by double floor-to-ceiling plate glass windows. One the rear the roof shelters a band of multi-pane windows. A band of three six-over-six vinyl sash windows, with a small pent roof, pierce the east (side) elevation of the bank. At some point a shed-roofed addition was constructed against the rear elevation. The front and side (east) elevation are clad in fieldstone veneer and the rear and west (side) elevation in brick (Figures 77 and 78).

Interior

The building was not accessible at the time of the survey.

⁵⁸ Moore County Deed Book 39, page 188.

⁵⁹ Moore County Deed Book 51, page 166.

⁶⁰ Moore County Deed Book 231, page 377.

⁶¹ Moore County Deed Book 231, page 374.



Figure 77: (Former) Carolina Bank, Looking Northwest.



Figure 78: (Former) Carolina Bank, Looking Southwest.

The land on which the bank sits was originally part of the holdings of D. A. McDonald. McDonald had conveyed land to the Aberdeen & Asheboro Railroad, which later became the Norfolk & Southern Railroad. In 1959, Zora Lee Jackson conveyed the property to Carolina Bank.⁶² The building was designed by Thomas T. Hayes & Associates.⁶³ Hayes had attended North Carolina State University and received his architecture degree in 1951. He is better known for his residential designs, and is responsible for numerous houses in Southern Pines and Pinehurst.⁶⁴

Integrity

The (former) Carolina Bank remains in its original location. The design of the bank is typical of a modest mid-century modern utilitarian building. The property no longer operates as a bank, and due to this, and some of the changes that have occurred since, such as the alteration of the windows and the shed addition, the property can no longer convey its historic and feeling. The building retains a low level of integrity with respect to materials and workmanship. The building is associated with the economic development of small rural crossroads communities during the second half of the twentieth century.

Property Description Commercial Building (# 007//MR1386), ca. 1960 144 Mode Road

Exterior

This one-story, front-gabled concrete block commercial building has a permastone veneer on the south (front) gable end. The double entry doors are placed off center and are flanked to the left by a single plate-glass window, and to the right by a double plate-glass window. A section of the permastone wraps around the west (side) elevation and surrounds a large plate-glass window. The remaining sections of the building are painted concrete block. Located on the west (side) elevation, near the north (rear) gable end is a sliding garage door. A four-light steel casement window flanks the garage door to the right and a second one is located in the rear gable end. A short, gable-roofed hyphen connects the main block to a one-story gable-roofed frame shed, placed perpendicular to the main building (Figures 79 and 80).

Interior

The building appears to be abandoned and was not accessible at the time of the survey.

Historical Background

The land on which the bank sits was originally part of the holdings of D. A. McDonald. McDonald had conveyed land to the Aberdeen & Asheboro Railroad, which later became the Norfolk & Southern Railway Company. In 1946, the Norfolk & Southern Railway Company conveyed the land to H. C. Cheek.⁶⁵

⁶² Moore County Deed Book 233, page 467.

⁶³ NCSU Libraries 2017.

⁶⁴ North Carolina Modernist Houses 2017.

⁶⁵ Moore County Deed Book 147, page 629.



Figure 79: Commercial Building, Looking Northwest.



Figure 80: Commercial Building, Looking Southeast.

Integrity

The building remains in its original location. Its design is typical of utilitarian buildings built after World War II. The property is no longer functioning as a commercial building and as such no longer convey its historic character and feeling. The building retains a modest level of integrity with respect to materials and workmanship. The building is associated with the economic development of small rural crossroads communities during the second half of the twentieth century.

Property Description (former) Sandhill Furniture Company (# 013//MR1391), ca. 1927 to 1972 5364 NC 211

Exterior

Little survives of what once made up the extensive complex of the Sandhill Furniture Company, which covered approximately seven acres, wedged between the Norfolk & Southern Railroad, to the west, NC 211, to the east, and Mode Road, to the north. A historic photograph shows a large number of associated production, storage, and office buildings as well as a few non-related commercial buildings and dwelling houses at the southwest corner of the intersection between Mode Road and NC 211 (Figure 81).⁶⁶

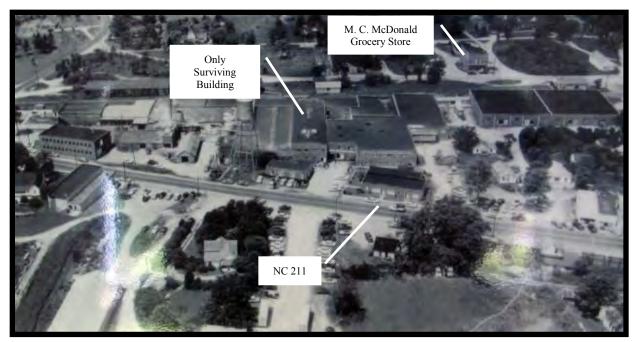


Figure 81: Undated Photograph Showing the Sandhill Furniture Company Looking West.

The factory closed around 2003, and many of the buildings were demolished (Figure 82). What survives today of the Sandhill Furniture Company is a two-story, brick building with stepped parapet walls at the east and west end and a barrel-vaulted roof (Figure 83). The other two buildings date to the Stanley Furniture Company period and are a one-story, side-gabled office

⁶⁶ A comparison with aerial photographs suggests the birds-eye-view was taken between 1950 and 1964. Photograph is an undated picture on file at the West End Presbyterian Church.

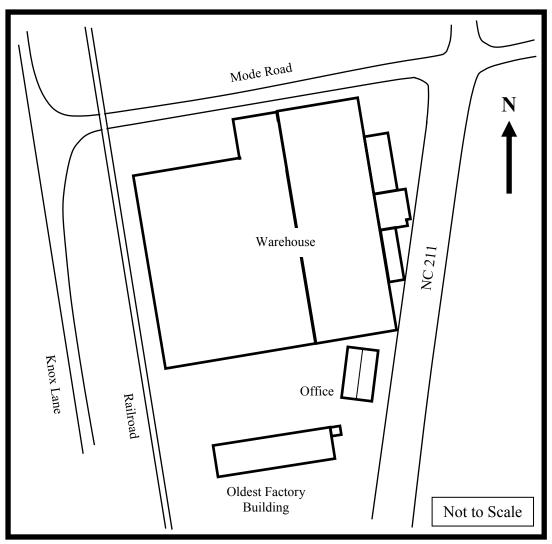


Figure 82: Sketch Map of the Sandhill Furniture Company.



Figure 83: Sandhill Furniture Company, Oldest Factory Building, Looking Northwest.

building, and a warehouse, with a two-story, and a three-story section, which was built around 1972 (Figures 84 and 85).

Interior

The buildings are abandoned and the surveyor did not obtain access to the interior at the time of the survey.



Figure 84: Sandhill Furniture Company, Office Building and Warehouse Looking Northwest.



Figure 85: Sandhill Furniture Company, Warehouse, Looking Southeast.

The land on which the Sandhill Furniture Company is located was originally part of the holdings of Daniel A. McDonald. By the beginning of the twentieth century, part of that land had been conveyed to J. B. Von Canon and was the site of his peach orchard. A 1935, newspaper entry mentioned that the Sandhill Furniture Company had completed extensive additions to the plant to meet the growing demands for its products. It also mentioned that several families had moved to West End as a result of the expansion.⁶⁷ James B. Von Canon, Jr. established a subdivision along Sunset Drive (now Beauty Road) just after World War II, to house some of the factory workers (Figures 86 and 87).⁶⁸ The majority of the subdivision is located outside the current APE and the surviving workers' houses do not retain sufficient integrity.

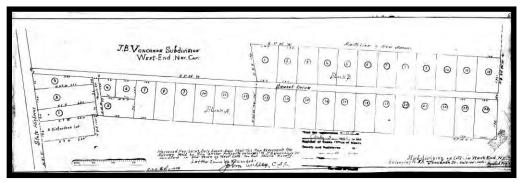


Figure 86: Plat Showing the J. B. Von Canon Subdivision (Moore County Register of Deeds, Map Book 2, page 131).

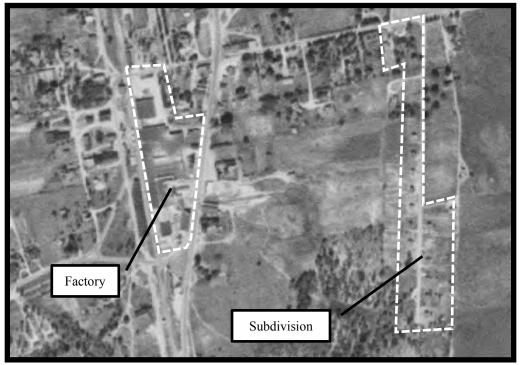


Figure 87: Detail of 1950 Aerial Showing the Location of the Factory and the Subdivision (EarthExplorer 2017a).

⁶⁷ The Pilot, February 22, 1935, page 5.

⁶⁸ Moore County Map Book 2, page 131.

In 1965, the Stanley Furniture Corporation out of Virginia bought the Sandhill Furniture Company. At its height, the furniture factory employed between 300 and 400 people.⁶⁹ In 2001, Stanley Furniture closed the factory in West End.⁷⁰

Integrity

What is left of the property remains in its original location and retains much of its setting as it lies wedged in between NC 211 and the railroad. The design of the surviving buildings is reflective of twentieth-century utilitarian architecture. The property as a whole retains a low level of integrity with respect to materials and workmanship, due to the destruction of numerous buildings associated with the furniture factory at the height of its operation. Part of the operations occurred on the east side of NC 211, were the drying of the lumber occurred. Due to a loss of integrity of associated structures, the property lacks sufficient character to convey its historic feeling (Figure 88). The property is associated with Von Canon family and the role they played in the community, and the economy development of West End from the late 1920s to 2001.

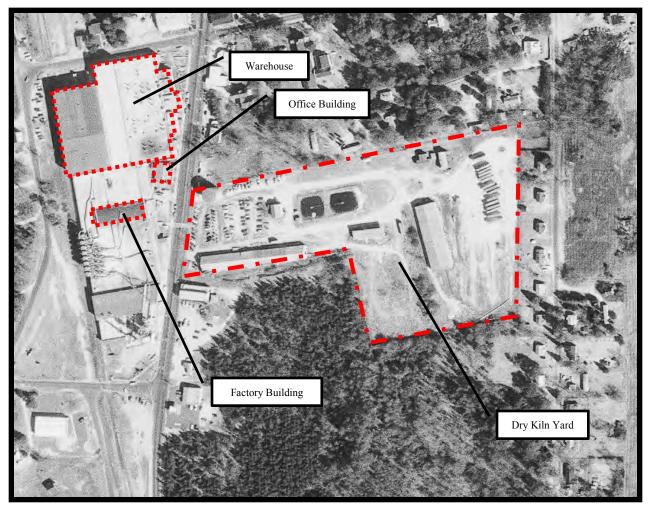


Figure 88: Detail of 1987 Aerial Showing the Location of the Factory and the Subdivision (EarthExplorer 2017c). Note the dotted lines show the surviving buildings.

⁶⁹ Personal communication with a local resident, whose father had worked for the Stanley Furniture Company.

⁷⁰ Powell Slaughter, "Stanley closes N.C. plant, cuts estimate," in *Furniture Today*, December 17, 2001.

Property Description Commercial Block (# 014//MR1392), ca. 1930 5353 & 5357 NC 211

Exterior

The block contains two connected one-story, flat roofed brick buildings with stepped parapet walls. The building at 5353 NC 211 has a rectangular footprint and is located on the left side of the block. A metal awning shelters the glazed double entry doors and the two large plate-glass store windows that flank it, on the northwest (front) elevation of the building. The building at 5357 NC 211 has a more irregular footprint with a substantial jog on the northwest (front) elevation. A section of the elevation is flush with the front elevation of 5353 and has a glazed door flanked by a plate-glass store window. The remainder of the elevation jogs several feet forward, with a double window on the northeast (side) elevation. A concrete-block wing extends off the rear elevation of the main block (Figures 89 through 91).

Interior

The buildings were not accessible at the time of the survey.



Figure 89: Commercial Block, Looking Southeast. Note, 5353 to the left and 5357 to the right.



Figure 90: Commercial Block, View of 5353 Looking South.



Figure 91: Commercial Block, View of 5357 Looking Northwest.

The land, on which the commercial block sits, was originally conveyed by D. A. McDonald to M. C. McDonald, in 1914.⁷¹ In 1918, M. C. McDonald, conveyed a 1³/₄-acres tract of land to Mrs. Minnie P. Morris.⁷² In 1948, the parcel was conveyed to Richard North Lewis, Robert Blake Lewis, Jr., and Nelle Lewis Markham.⁷³ Nelle Lewis [Markham] had been appointed the acting postmaster for West End in 1934, and held the position until 1946.⁷⁴ The post office may have been housed in one of the buildings. Nelle Lewis Markham ultimately conveved the property to the current owners in 1975.⁷⁵ The buildings are currently occupied by two antique stores.

Integrity

The buildings remain in their original location and retain much of their original setting. The design of the buildings is typical of early- to mid-twentieth-century commercial buildings. The buildings retain a modest level of integrity with respect to materials and workmanship. The buildings are associated with the evolution of small rural crossroads communities and the development of commercial properties during the beginning of the twentieth century.

Property Description

Lewis' Filling Station (# 015//MR1393), ca. 1950 5349 NC 211

Exterior

The (former) filling station consists of two distinct flat-roofed sections. The taller section is clad in brick and contains two garage bays that can be entered from the north (front) elevation and which faces NC 73. Large twelve-light steel-casement windows pierce the south (rear) elevation of the garage-bay section. Located against the west elevation of the garage bays is a slightly lower office section, with an irregular footprint. The office section has a cutaway corner, which faces the intersection of NC 211 and NC 73, and which contains the entry door flanked by two fixed-glass windows. The sections of the office, which face the public roads are clad in brick, with the concrete-block left exposed on the south (rear) elevation. Located at the southwest corner of the office section are pieced sections of concrete- block walls, which presumably conceal the entrances to the restrooms (Figures 92 and 93).

Interior

The building was not accessible at the time of the survey.

 ⁷¹ Moore County Deed Book 60, page 80.
 ⁷² Moore County Deed Book 64, page 499.

⁷³ Moore County Deed Book 160, page 289.

⁷⁴ The Pilot, October 12, 1934, page 2. Postmark Catalog for Moore County, 2017, page 96. A resident informed me that the post office used to be housed in one of the buildings.⁷⁵ Moore County Deed Book 401, page 826.

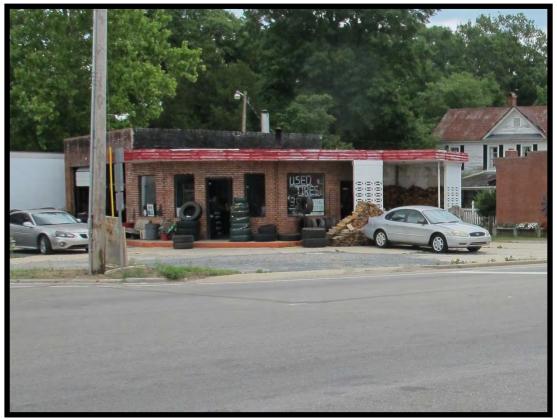


Figure 92: Lewis' Filling Station, Looking Southeast.



Figure 93: Lewis' Filling Station, Looking Northwest.

The land on which the service station sits was originally conveyed by D. A. McDonald to M. C. McDonald, in 1914.⁷⁶ In 1918, M. C. McDonald, conveyed a 1³/₄-acres tract of land to Mrs. Minnie P. Morris, which also comprises the parcel with the commercial block discussed above.⁷⁷ In 1948, the parcel was conveyed to Richard North Lewis, Robert Blake Lewis, Jr., and Nelle Lewis Markham.⁷⁸ A 1936 newspaper entry reports on a burglary that took place at Lewis' Filling Station in West End, where three slot machines and a small quantity of cigarettes was stolen⁷⁹ It is not unlikely that the filling station mentioned in the newspaper, was an earlier rendition of the current building. Nelle Lewis Markham ultimately conveyed the property to the current owners in 1975, the McNeill Oil Company.⁸⁰

Integrity

The building remains in its original location and retains much of its original setting. The design of the building is typical of early- to mid-twentieth-century filling station. The building retains a low level of integrity with respect to materials and workmanship, due to the changes to the windows on the office section and the loss of the gas pumps. The building is associated with the evolution of small rural crossroads communities and the growth of the use of automobiles during the twentieth century.

EVALUATION OF POTENTIAL WEST END HISTORIC DISTRICT

National Register Criteria Evaluation

For purposes of compliance with Section 106 of the NHPA, the West End Historic District is not recommended eligible for the NRHP, either based on the overall evaluated area or a potential smaller district based on the commercial core area.

Integrity of the West End Historic District

The West End Historic District does not possess a significant concentration of original buildings and structures with sufficient integrity to constitute a historic district reflective of its period of significance that coincided with the arrival of the railroad at the turn on the twentieth century and ended with the departure of the furniture industry at the beginning of the twenty-first century. The evaluated resources range in date from the late nineteenth century to the 1970s. West End's heyday appears to have been in the two or three decades leading up to World War II, when the new high school was built, and during which time most buildings in the historic district were constructed. Not only do the surviving buildings not retain sufficient integrity, historic aerials also document the loss of several buildings since the late 1980s. West End no longer contains a cohesive collection of buildings to distinguish it as a predominantly early twentieth-century crossroads community that gained its importance from the furniture industry and the peach business. It is therefore recommended that a historic district meeting the criteria of eligibility for the NRHP is not present in the surveyed area of West End.

⁷⁶ Moore County Deed Book 60, page 80.

⁷⁷ Moore County Deed Book 64, page 499.

⁷⁸ Moore County Deed Book 160, page 289.

⁷⁹ The Pilot, April 24, 1936, page 7.

⁸⁰ Moore County Deed Book 401, page 826.

The commercial core area is located within the boundary of the West End Commercial District around the intersection of NC 73 and NC 211. It does not possess a significant concentration of original buildings and structures with sufficient integrity to constitute a smaller historic district reflective of its period of significance. This coincided with the creation of the Sandhill Furniture Company in the late 1920s and ended with the departure of the furniture industry at the beginning of the twenty-first century. The evaluated resources range in date from the late 1920s century to the 1970s. Not only do the surviving buildings not retain sufficient integrity, historic aerials also document the loss of several commercial buildings since the late 1980s. The West End commercial area no longer contains a cohesive collection of buildings that reflect its heyday. It is therefore recommended that a smaller commercial historic district meeting the criteria of eligibility for the NRHP is also not present in the surveyed area of West End.

Criterion A

The West End Historic District is not recommended eligible for the National Register under Criterion A (Event). To be eligible under Criterion A the property must retain integrity and must be associated with a specific event marking an important moment in American prehistory or history or pattern of events or historic trends that made a significant contribution to the development of a community, a state, or a nation. Furthermore, the property must have existed at the time and be documented to be associated with the events. Finally, the property's specific association must be important as well.

A review of the HPOWEB database revealed that eight historic districts were surveyed in Moore County, which were determined eligible. West End probably best compares with the Aberdeen Historic District (MR0141), because of the importance the railroad played in the development of the community, the mix of commercial and residential resources, and the role of the local lumber industry. Whereas both communities saw a level of decline during the twentieth century, Aberdeen not only retains a larger number of commercial and residential structures associated with its period of significance, they also retain a greater level of integrity. Despite being associated with the evolution of small rural crossroads communities that coincided with the arrival of the railroad, the surveyed section of West End and the area as a whole does not retain sufficient integrity to reflect this and therefore is not recommended eligible under Criterion A.

As for the commercial core area, a review of the HPOWEB database revealed that 34 commercial districts were surveyed across North Carolina, but only one Moore County, the Pinehurst Commercial District (MR0597). The Pinehurst Commercial District is located within the Pinehurst Historic District (MR0006), which was listed in the NRHP in 1973. Similar to the historic district the commercial core area of West End probably best compares with the commercial part of the Aberdeen Historic District (MR0141). Both towns grew with the arrival of the railroad and followed a similar trajectory of rise and decline. Aberdeen, however, retains a larger number of commercial associated with its period of significance that also retain a greater level of integrity. Despite being associated with the arrival of the railroad, the surveyed commercial section of West End does not retain sufficient integrity to reflect this and therefore is not recommended eligible under Criterion A.

Criterion B

The West End Historic District is not recommended eligible for the National Register under Criterion B (Person). For a property to be eligible for significance under Criterion B, it must retain integrity and 1) be associated with the lives of persons significant in our past, i.e., individuals whose activities are demonstrably important within a local, state, or national historic context; 2) be normally associated with a person's productive life, reflecting the time period when he/she achieved significance; and 3) should be compared to other associated properties to identify those that best represent the person's historic contributions. Furthermore, a property is not eligible if its only justification for significance is that it was owned or used by a person who is or was a member of an identifiable profession, class or social or ethnic group.

The early history of West End is predominantly associated with the lives of the brothers Daniel A. McDonald and Moses C. McDonald. Daniel McDonald could be seen as the founding father for his role in the arrival of the railroad. Another important family is that of J. B. Von Canon, who arrived in the early twentieth century. Both families were driving forces behind the economic and social development of the town and were involved with the local churches. M. C. McDonald, donated the land for the West End Presbyterian Church, and J. B. Von Canon for the West End Methodist Church. Despite his connection with West End, Daniel A. McDonald, actually lived in Carthage. His brother did take up residence in the community, and his property is considered separately (see below). The resources directly associated with J. B. Von Canon, his house and the furniture factory, no longer retain sufficient integrity to convey their association to Von Canon. The district is therefore not recommended eligible under Criterion B.

J. B. Von Canon was more instrumental in the large-scale commercial development of West End as the founder of the Sandhill Furniture Company, which was at the heart of the commercial core area. However, the furniture factory has suffered the greatest losses of integrity and the commercial core is therefore not recommended eligible under Criterion B.

Criterion C

The West End Historic District is not recommended eligible for the National Register under Criterion C (design/construction). For a property to be eligible under this criterion, it must retain integrity and either 1) embody distinctive characteristics of a type, period, or method of construction; 2) represent the work of a master; 3) possess high artistic value; or 4) represent a significant and distinguishable entity whose components may lack individual distinction.

West End is one of approximately six unincorporated communities in Moore County. The majority of the buildings in the surveyed area of West End and the commercial core area do not retain the integrity to embody the distinctive characteristic of a type, period, or method of construction. They are furthermore, not a distinctive collection of buildings to reflect a certain period or style of architecture and therefore the district is not recommended as eligible for listing in the NRHP under Criterion C for architecture.

Criterion D

The West End Historic District is not recommended eligible for the National Register under Criterion D (potential to yield information). For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to

our understanding of human history and prehistory, and 2) the information must be considered important.

The district nor the commercial core are likely to yield any new information pertaining to the history of building design and technology and is therefore not recommended eligible under Criterion D.

Resource Name:	Moses C. McDonald House, Store, and Carolina Handkerchief
	Factory
NCDOT Survey Site Number:	012
HPO Survey Site Number:	MR0557 (Placed on the Study List in 1998)
Location:	171 Knox Lane, West End, Moore County
Parcel ID:	0002260
Dates(s) of Construction:	ca. 1910
Recommendation:	Eligible for the NRHP



Figure 94: Moses C. McDonald House, Looking Southwest.

Setting

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory are located on the west side of Knox Lane at the intersection with Mode Road. The buildings are dispersed across an 18.74-acre parcel with the dwelling sitting approximately 300 feet back from the road. The dwelling is surrounded by grass with a few shrubs and mature trees. A large section of the parcel is wooded (Figures 94 and 95).

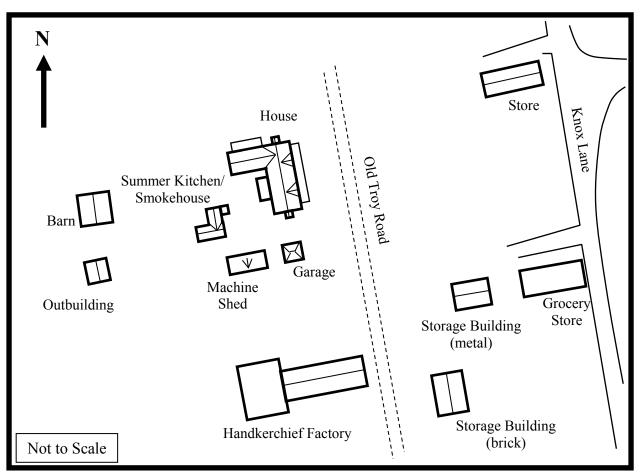


Figure 95: Sketch Map of the Moses C. McDonald House, Store, and Carolina Handkerchief Factory.

Property Description

Exterior

Built around 1910, the Moses C. McDonald House is an unusually long one-story, side-gabled dwelling with two decorative cross gables on the east (front) elevation of the dwelling and a hip-roofed porch, supported by classical columns, which shelters the six bays on the front elevation. The unusual shape could be attributed to the fact that the dwelling may have once functioned as a railroad hotel.⁸¹ A one-story, gable-roofed wing extends off the west (rear) elevation of the building and gives the dwelling an L-shaped footprint. A partially enclosed shed-roofed porch runs along the north (side) elevation of the rear wing, and located against the rear elevation of the main block is an enclosed shed-roofed porch. At some point two small gable-roofed additions were constructed against the north and south gable end of the main block. The dwelling sits on a rusticated concrete block pier foundation with brick infill, is clad in vinyl German, or drop, siding, and has two-over-two wooden sash windows. An unusual detail are the Palladian windows in the gable peaks of the main block Located against the rear elevation of the main block is an exterior brick chimney (Figures 96 through 98).

⁸¹ M. Ruth Little and Michelle T. Kullen, North Carolina Historic Structure Data Sheet, *Moses C. McDonald House, Store, and Carolina Handkerchief Factory*, October 1997.



Figure 96: Moses C. McDonald House, Looking Northwest.



Figure 97: Moses C. McDonald House, Looking Northeast.



Figure 98: Moses C. McDonald House, Looking Southeast.

Interior

The owner did not grant access to the interior of the building at the time of the survey.

Ancillary Structures

Located around the dwelling are a number of ancillary structures, some with domestic functions, others related to farming operations and commercial and industrial ventures of Moses C. McDonald. Located behind the dwelling is a one-story, gable-roofed building with an L-shaped footprint, which reportedly housed a smokehouse. Located against its east (front) elevation is a concrete-block and frame shed-roofed well house (Figure 99). Located behind this building is a one-and-a-half-story, front-gabled barn, and a front-gabled frame outbuilding (Figures 100 and 101). Located to the south of the dwelling is a hip-roofed brick garage. The walls are laid stretcher bond with variegated bricks with kiln marks and it has a tripartite folding door with an eight-light transom (Figure 102). West of the garage is a shed-roofed machine shed (Figure 103).



Figure 99: Moses C. McDonald House, Summer Kitchen/Smokehouse, Looking Southwest.



Figure 100: Moses C. McDonald House, Barn, Looking Northwest.

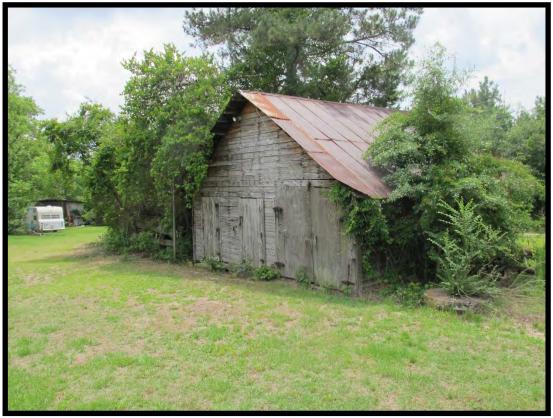


Figure 101: Moses C. McDonald House, Outbuilding, Looking Southeast.



Figure 102: Moses C. McDonald House, Garage, Looking Northwest.

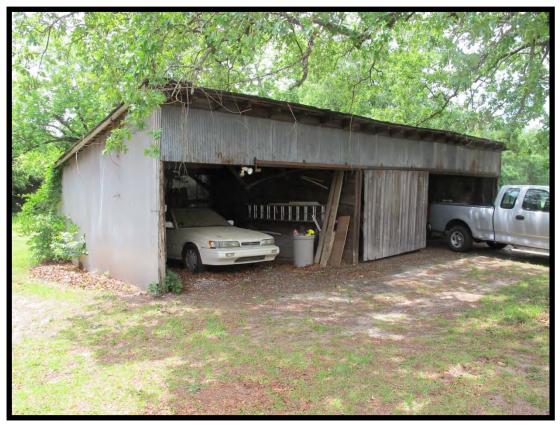


Figure 103: Moses C. McDonald House, Machine Shed, Looking Southwest.

Located farther south is the handkerchief factory, which was built in the late 1930s. The building consists of two distinct sections. The main block is a front-gabled, three bay, brick section, with eleven segmental arched windows piercing the north and south (side) elevations. The walls are laid in five-over-one common bond and it has eight-over-eight wooden sash Craftsman-style windows. The roof has plain exposed rafter tails. Located against its southwest (rear) gable end is a slightly wider and taller brick section with a parapet wall. The walls are laid in five-over-one common bond and it has similar eight-over-eight wooden sash windows as the front section, but lacks the brick segmental arches (Figures 104 and 105). Located southeast of the factory, is a front-gabled terracotta brick storage building (Figure 106). Located along Knox Lane are two commercial buildings. At the north end of the property is a front-gabled frame store. A hip-roofed porch, supported by plain posts, shelters three bays on the northeast (front) gable end. A central double door is flanked by a window to the left and a door to the right. The building sits on brick piers and is clad in German, or drop, siding (Figure 107). At the south end is a two-story brick building with a parapet wall, which functioned as a grocery store and was built around 1912. The walls are laid in five-over-one common bond with the rows or headers being slightly darker, creating a decorative pattern. The first floor storefront had large store windows flanking a recessed double entry door. Brick pilasters, supporting a decorative cornice with dentils, flanked the store windows. The second-floor window bays on the front and side elevations have brick segmental arches (Figures 108 and 109). Located behind the brick store is a front-gabled storage building clad in corrugated metal siding (Figure 110).



Figure 104: Moses C. McDonald House, Handkerchief Factory, Looking South.



Figure 105: Moses C. McDonald House, Handkerchief Factory, Looking Southeast.



Figure 106: Moses C. McDonald House, Storage Building, Looking Southeast.



Figure 107: Moses C. McDonald House, Store, Looking Southwest.



Figure 108: Moses C. McDonald House, Grocery Store, Looking Southwest.

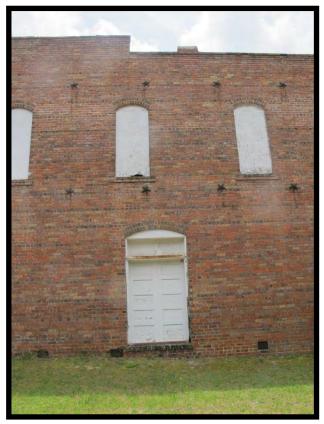


Figure 109: Moses C. McDonald House, Grocery Store, Detail of Northwest Elevation.



Figure 110: Moses C. McDonald House, Storage Building, Looking Southwest.

Moses C. McDonald played an important role in the history of West End. Together with his brother D. A. McDonald he initially operated a turpentine mill in the area, but unlike his brother he made West End his home, and was one of the driving forces behind the growth of the community. Like many other families in the area he grew peaches and was mentioned in a 1930 newspaper as being optimistic for a good crop after two wet summers.⁸² Moses C. McDonald also served as a county commissioner for Moore County, a position he resigned from in 1930.⁸³ McDonald was also involved in more industrial pursuits and founded the McDonald Manufacturing Company, which made bodies for trucks and school buses.⁸⁴ In 1932, the company was awarded a state contract to make school bus bodies.⁸⁵ McDonald even broadened his business interests and in 1935, he founded the Carolina Handkerchief Company.⁸⁶ Moses C. McDonald died in 1943, but he children carried on his various business ventures (Figure 120). The property remains in possession of the McDonald family.

⁸² The Pilot, January 10, 1930, front page.
⁸³ The Pilot, January 17, 1930, front page.

⁸⁴ The Pilot, June 5, 1931, page 10.

⁸⁵ The Pilot, April 1, 1932, Page 2.

⁸⁶ The Pilot, November 1, 1935, page 7.

Moses G. McDonald, Prominent Resident of Moore County, Dies at Eighty Years Heart Attack Friday

Heart Attack Friday Is Fatal to Builder of West End Community

Moses' Christopher McDonald, 80, well-known merchant, manufacturer, and peach-grower of West End, died of a heart attack at his home at 8:15 p.m. Friday, July 2.

Funeral services were held Sunday at 4 p. m. from the West End Presbyterian Church with the pastor, Rev. R. R. Ramsey in charge, assisted by Rev. W. H. Brown and Rev. A. R. Bell of West End, Dr. C. H. Storey of Aberdeen, Rev. W. S. Golden of Carthage and Rev. H. K. Holland of Raeford. Burial was in the West End cemetery.

Mr. McDonald, a native of Moore County, was the son of the late Angus and Mary Ann McDonald of Bensalem township. He was a founder and builder of the West End community, a charter member of the West End Presbyterian Church, having held the office of Clerk of the

A Builder



Figure 111: Newspaper Article on the Death of Moses C. McDonald (The Pilot 1943).

NRHP Criteria Evaluation

For purposes of compliance with Section 106 of the NHPA, the Moses C. McDonald House, Store, and Carolina Handkerchief Factory is recommended individually eligible for the NRHP.

Integrity

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory remain in their original location and retain much of their setting. The design of the dwelling is and adaptation of a common vernacular design popular during the turn of the twentieth century; however, the use of vinyl German, or drop siding, and aluminum covering the original window frames has diminished its integrity. The commercial and industrial buildings are typical of utilitarian buildings constructed during the first half of the twentieth century. Whereas the factory appears to retain the highest level of integrity, both it and the store are abandoned and deteriorating. The

store's windows have been boarded up diminishing its original appearance. Overall, the buildings retain a moderate level of integrity of materials, workmanship, and feeling to convey the property's significance. The property is associated with the life and work of Moses C. McDonald.

Criterion A

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory is recommended eligible for the NRHP under Criterion A (Event). To be eligible under Criterion A the property must retain integrity and must be associated with a specific event marking an important moment in American prehistory or history or pattern of events or historic trends that made a significant contribution to the development of a community, a state, or a nation. Furthermore, the property must have existed at the time and be documented to be associated with the events. Finally, the property's specific association must be important as well.

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory are associated with the foundation and growth of West End, a small crossroads community in Moore County, during the first half of the twentieth century. The complex as a whole retains sufficient integrity to convey its importance, and the property is therefore recommended eligible under Criterion A.

Criterion B

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory is recommended eligible for the NRHP under Criterion B (Person). For a property to be eligible for significance under Criterion B, it must retain integrity and 1) be associated with the lives of persons significant in our past, i.e., individuals whose activities are demonstrably important within a local, state, or national historic context; 2) be normally associated with a person's productive life, reflecting the time period when he/she achieved significance; and 3) should be compared to other associated properties to identify those that best represent the person's historic contributions. Furthermore, a property is not eligible if its only justification for significance is that it was owned or used by a person who is or was a member of an identifiable profession, class or social or ethnic group.

The property is associated with the life of Moses C. McDonald, who played a significant part in the founding and development of West End. Together with his brother Daniel, he was a founding fathers of West End. Not only did he make West End his home, but he also helped stimulate the economy with his various business ventures that provided local residents with employment and retail options. The property retains several of the building associated with his role in the community and is therefore recommended eligible under Criterion B.

Criterion C

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory is not recommended eligible for the NRHP under Criterion C (design/construction). For a property to be eligible under this criterion, it must retain integrity and either 1) embody distinctive characteristics of a type, period, or method of construction; 2) represent the work of a master; 3) possess high artistic value; or 4) represent a significant and distinguishable entity whose components may lack individual distinction.

Despite the fact that the Moses C. McDonald House, Store, and Carolina Handkerchief Factory is a unique ensemble of buildings representing the life and work of Moses C. McDonald, and reflective of the development of West End, a small crossroads community, the individual resources lack significance and integrity. Whereas the house is unusual with its double triple-A roof, this can perhaps be explained by the possibility that is was built as a duplex and may have served as a railroad hotel. The triple-A form itself and even the use of multiple cross gables is not unusual, and examples survive elsewhere across Moore County, and North Carolina, such as the Graham-Thompson House (MR0092) in Aberdeen, which was built around 1902 and combines Classical features with elements from the Queen Anne style and retains a high level of integrity (Figure 112).



Figure 112: Graham-Thompson House (MR0092), Looking Southwest.

The store is a common type of commercial building built during the turn of the twentieth century. Numerous of these survive in Moore County, and North Carolina, that are still utilized as stores and retain a greater level of integrity, such as the Eva Page Building (MR0099) and Keith Building (MR0100) located in the Aberdeen Historic District (MR0141) (Figure 113). The handkerchief factory is an example of a small utilitarian building of the type built before World War II, with a large number of windows that allowed for natural lighting. Its stylistic features, such as the types of windows and exposed rafter tails, were influenced by the Craftsman style, which was popular at the time. Due to deterioration, caused by neglect, and alterations, some of the individual resources retain insufficient integrity to embody the distinctive characteristics of a type, period, or method of construction, whereas others lack architectural significance and are

therefore not recommended as individually eligible for listing in the NRHP under Criterion C for architecture.



Figure 113: Eva Page Building (MR0099) and Keith Building (MR0100), Looking South.

Criterion D

The Moses C. McDonald House, Store, and Carolina Handkerchief Factory is not recommended eligible for the NRHP under Criterion D (potential to yield information). For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history and prehistory, and 2) the information must be considered important.

The property is not likely to yield any new information pertaining to the history of building design and technology and is therefore not recommended eligible under Criterion D.

NRHP Boundary Justification

The NRHP boundary for the Moses C. McDonald House, Store, and Carolina Handkerchief Factory has been drawn according to the guidelines of National Register Bulletin 21, *Defining Boundaries for National Register Properties*. The boundary is drawn to include the dwelling and the associated buildings as well as the surrounding landscape to provide its original setting (Figure 114). The boundary contains approximately 18.74 acres. The NRHP boundary is identified as parcel 852400922308 (Moore County PIN).





Resource Name:	West End Methodist Church
NCDOT Survey Site Number:	019
HPO Survey Site Number:	MR0572 (Previously recorded but not evaluated)
Location:	4015 NC 73, West End, Moore County
Parcel ID:	00030057
Dates(s) of Construction:	ca. 1915
Recommendation:	Not Eligible for the NRHP.



Figure 115: West End Methodist Church, Looking Southwest.

Setting

The property is located on the south side of NC 73, approximately 290 feet east of the intersection with NC 211. The church sits approximately 60 feet back from the road and is surrounded by a landscaped yard. A large paved parking area is located east of the church (Figures 115 and 116).

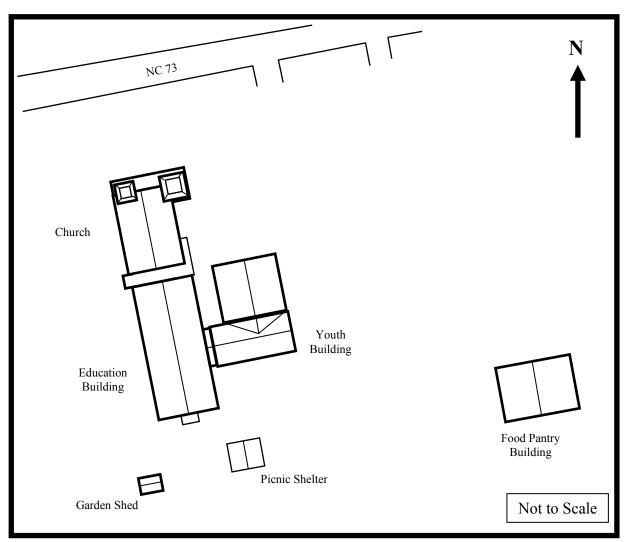


Figure 116: Sketch Map of the West End Methodist Church.

Property Description

Exterior

Built around 1915, West End Methodist Church has a rectangular sanctuary with two unequally sized square towers at the north (front) gable end of the church. The towers have unusual flared eaves topped by a balustrade. The smaller of the two towers is partially engaged and its west (side) elevation is flush with that of the sanctuary. The larger of the two towers is partially engaged and sits at the northeast corner of the sanctuary. It contains the formal entrance into the church. A shed-roofed section along the front gable end of the sanctuary connects the two towers. A small shed-roofed porch, with a decorative cross gabled shelters the three entry doors on the north (front) elevation of the larger tower. The church sits on a brick foundation, is clad in vinyl German, or drop, siding, and has triple-sash wooden windows with a Queen Anne-style division (Figures 117 and 118).



Figure 117: West End Methodist Church, Looking Southeast.



Figure 118: West End Methodist Church, Looking Southwest.

Interior

The surveyor did not obtain access to the interior of the property at the time of the survey.

Ancillary Structures

Typical of churches in the area several ancillary structures are located around it, some of which are attached, or semi-attached. Extending off the south (rear) gable end of the sanctuary is a low gable-roof brick Education Building, which was constructed around 1956 (Figure 119).



Figure 119: West End Methodist Church, Education Building, Looking Northeast.

Located to the east of the Education Building is the Youth Building, which was constructed in the 1940s and expanded in 1985 (Figures 120 and 121). When the building was expanded it was also connected to the Education Building. The most recent addition was the Food Pantry Building, which is located southeast of the Youth Building. Also located behind the church is a front-gabled metal picnic shelter and a front-gabled garden shed (Figures 122 through 124).



Figure 120: West End Methodist Church, Youth Building, Looking Northeast.



Figure 121: West End Methodist Church, Youth Building Addition, Looking Southwest.



Figure 122: West End Methodist Church, Food Pantry Building, Looking Southeast.



Figure 123: West End Methodist Church, Picnic Shelter, Looking Southwest.

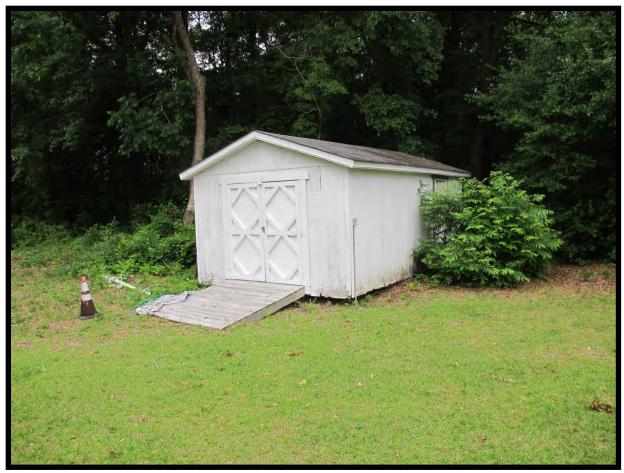


Figure 124: West End Methodist Church, Garden Shed, Looking Southwest.

Historical Background

According to the church history, J. B. Von Canon not only gave the land for the church, but the materials to build it were manufactured at his mill, with the exception of the window sashes.⁸⁷ In the 1940s a youth building was constructed southeast of the sanctuary, and in 1956, the church constructed an education building off the south (rear) gable end of the sanctuary. In 1985, a front-gabled wing was added to the north elevation of the youth building, giving it an L-shaped footprint. At the same time, a hyphen was constructed to connect the original section of the youth building to the education building.

NRHP Criteria Evaluation

For purposes of compliance with Section 106 of the NHPA, the West End Methodist Church is not recommended eligible for the NRHP.

Integrity

The West End Methodist Church remains in its original location and retains much of its setting. The design of the church, with two unequal towers flanking the front gable end of the sanctuary is not uncommon and can been seen on churches across North Carolina built around the turn of

⁸⁷ West End United Methodist Church, *History*, 2017.

the twentieth century. Due to the additions and alterations the church retains a low level of integrity of materials and workmanship. The entrance configuration of the church was altered, replacing a more narrow recessed double door with a triple door and adding the small portico (Figure 125).



Figure 125: Undated Historic Photograph Showing the Original Configuration of the Entrance of West End Methodist Church (West End United Methodist Church 2017).

Photographs on the church's website also show that the interior has been changed, specifically the altar area (Figure 126). The property is associated with the establishment of the Methodist Episcopal church in the West End area.

Criterion A

The West End Methodist Church is not recommended eligible for the NRHP under Criterion A (Event). To be eligible under Criterion A the property must retain integrity and must be associated with a specific event marking an important moment in American prehistory or history or pattern of events or historic trends that made a significant contribution to the development of a community, a state, or a nation. Furthermore, the property must have existed at the time and be documented to be associated with the events. Finally, the property's specific association must be important as well.



Figure 126: Undated Photographs Showing the Original Appearance of the Altar and the Current Appearance of West End Methodist Church (West End United Methodist Church 2017).

The West End Methodist Church is associated with the establishment of the Methodist Church in West End. Before the construction of the church, the congregation would meet at the old school together with members from the Presbyterian congregation, and receive services from either a Methodist or Presbyterian minister, depending on who was available.⁸⁸ The present church

⁸⁸ Ibid.

building no longer retains its integrity of materials, feeling, and is therefore not recommended eligible under Criterion A.

Criterion B

The West End Methodist Church is not recommended eligible for the NRHP under Criterion B (Person). For a property to be eligible for significance under Criterion B, it must retain integrity and 1) be associated with the lives of persons significant in our past, i.e., individuals whose activities are demonstrably important within a local, state, or national historic context; 2) be normally associated with a person's productive life, reflecting the time period when he/she achieved significance; and 3) should be compared to other associated properties to identify those that best represent the person's historic contributions. Furthermore, a property is not eligible if its only justification for significance is that it was owned or used by a person who is or was a member of an identifiable profession, class or social or ethnic group.

The property is not associated with the life or lives of persons significant to our past and therefore is not recommended eligible under Criterion B.

Criterion C

The West End Methodist Church is not recommended eligible for the NRHP under Criterion C (design/construction). For a property to be eligible under this criterion, it must retain integrity and either 1) embody distinctive characteristics of a type, period, or method of construction; 2) represent the work of a master; 3) possess high artistic value; or 4) represent a significant and distinguishable entity whose components may lack individual distinction.

The massing of the West End Methodist Church, with its rectangular sanctuary flanked by two towers, can be found in numerous churches across North Carolina. The design was most often executed in a Gothic Revival style, either in frame or brick, and at times with unequally sized towers. Whereas the massing of the West End Methodist Church is that of a Gothic Revival church, its fenestration is more influenced by the Queen Anne style. Warren Grove Baptist Church (CO0357) in Chowan County, which dates to the late nineteenth century, is an example of a Gothic Revival church with unequally-sized towers flanking the entrance (Figure 127). An undocumented church in Roper, Washington County, only has a single tower, but the roof treatment is similar to the West End United Methodist Church (Figure 128). Both churches appear to be less altered than the West End United Methodist Church. Due to the alterations West End Methodist Church no longer embodies its distinctive characteristics and method of construction and therefore is not recommended as eligible for listing in the NRHP under Criterion C for architecture.

Criterion D

The West End Methodist Church is not recommended eligible for the NRHP under Criterion D (potential to yield information). For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history and prehistory, and 2) the information must be considered important.



Figure 127: Warren Grove Baptist Church (CO0375), Looking Northeast.



Figure 128: Undocumented Church in Roper, North Carolina, Looking Northwest.

The property is not likely to yield any new information pertaining to the history of building design and technology and is therefore not recommended eligible under Criterion D.

Criteria Consideration A

The West End Methodist Church is not recommended eligible for the NRHP under Criteria Consideration A (religious properties). For a religious property to be eligible under Criteria Consideration A, it must derive its primary significance from architectural or artistic distinction or historical importance.

West End Methodist Church does not possess sufficient architectural distinction to be recommended eligible for the NRHP under Criteria Consideration A.

Resource Name:	John & Mary Monroe House
NCDOT Survey Site Number:	001
HPO Survey Site Number:	MR1380
Location:	4801 NC 211, West End, Moore County
Parcel ID:	94000434
Dates(s) of Construction:	ca. 1923
Recommendation:	Not Eligible for the NRHP.



Figure 129: John & Mary Monroe House, Looking Northeast.

Setting

The John & Mary Monroe House is located on the northeast side of NC 211, approximately 1 mile north of the intersection of NC 211 and NC 73, and 200 feet southeast of the intersection with Pine Ridge Lane. The dwelling sits approximately 335 feet back from the road, on a wooded parcel with a landscaped yard (Figures 129 and 130).

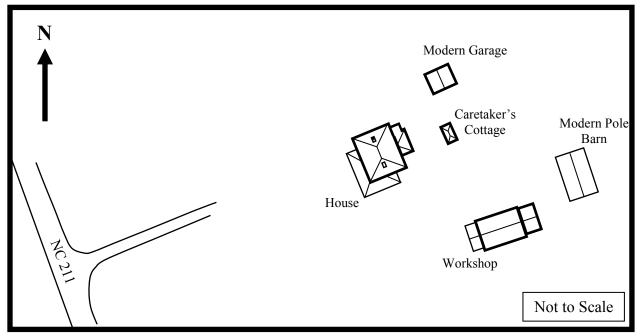


Figure 130: Sketch Map of the John & Mary Monroe House.

Property Description

Exterior

Built around 1923, the John & Mary Monroe House is a two-story, three-bay, hip-roofed Colonial Revival-style dwelling, of the type that was popular during the first three decades of the twentieth century. Double windows flank the entry door on the southwest (front) elevation of the dwelling. A hip-roofed porch, supported by square brick columns, covers two-thirds of the front elevation and wraps around the southeast (side) elevation. Located against the northeast (rear) elevation is an enclosed narrow hip-roofed porch, with a small shed-roofed addition off its northwest (side) elevation. Brick chimneys pierce through the southeast and northwest slopes of the roof. The dwelling sits on a continuous brick foundation, is clad in wide German, or drop, siding, and has vinyl sash replacement windows (Figures 131 and 132).

Interior

The surveyor did not obtain access to the interior of the property at the time of the survey.

Outbuildings

Located behind the dwelling are four outbuildings, two of which are historic. The two historic outbuildings, are a small, one-story, hip-roofed caretaker's cottage and a side-gabled workshop, with two gable-roofed wings. Two non-historic outbuildings are a modern front-gabled two-car garage and a gable-roofed pole barn (Figures 133 through 136).



Figure 131: John & Mary Monroe House, Looking Southeast.



Figure 132: John & Mary Monroe House, Looking Southwest.



Figure 133: John & Mary Monroe House, Caretaker's Cottage Looking East.



Figure 134: John & Mary Monroe House, Workshop Looking Northeast.



Figure 135: John & Mary Monroe House, Garage Looking North.



Figure 136: John & Mary Monroe House, Pole Barn Looking North.

Historical Background

The parcel on which the house sits was part of a much larger tract of land that was originally settled by Holcomb Rosenberg Cox and his wife Catharine Ann Dowd Cox in the early 1850s.⁸⁹ With the arrival of the railroad to the area, the sale of timber from the property provided it with a boost and it ultimately became a tree farm. By 1901, the land had been conveyed to the Holcomb's sons, Judson and Charlie. Their sister, Mary Elizabeth, had married John Archibald Monroe (1866-1955) in 1892, and raised five children. According to the 1920 census, they were living in Biscoe Township, Montgomery County. John Monroe was a boiler maker/mechanic for the Aberdeen & Asheboro Railroad.⁹⁰ They built the house around 1923. The 1930 census, has them living in Mineral Springs Township, Moore County, with their second oldest daughter, Blanche, who was a public school teacher.⁹¹ Besides working for the railroad the Monroes also had a peach orchard, a typical crop for the area, and obtained resin from pine trees on their property to distill into turpentine (Figure 137). In 1936, Judson and Charlie Cox conveyed the property to the children of John and Mary Monroe.⁹²



Figure 137: Historic Photograph Showing the John & Mary Monroe House, Looking Northwest.

⁸⁹ John L. Monroe, "The Cox/Monroe Farm," in North Carolina Century Farms: 100 Years of Continuous *Agricultural Heritage*, North Carolina Department of Agriculture, 1989, page 158. ⁹⁰ Ancestry.com 2017a and 2017b.

⁹¹ Personal communication Jeanne M. Williams, John and Mary Monroe's great-granddaughter. May 2017. Ancestry.com 2017c. ⁹² Monroe, 1989.

NRHP Criteria Evaluation

For purposes of compliance with Section 106 of the NHPA, the (former) John & Mary Monroe House is not recommended eligible for the NRHP.

Integrity

The John & Mary Monroe House remains in its original location and retains some of its setting, although the peach orchard no longer survives. Some of the design elements of the building are reminiscent of a type of building often described as an American Foursquare, with its almost rectangular footprint, hip-roofed with wide eaves, and large porch. The dwelling has a double-pile plan, with an entrance vestibule that also contains the stair leading to the second floor. The Monroe House is more squat than a typical Foursquare and lacks the often obligatory hipped-roof dormer(s). The building retains a modest level of integrity with respect to materials and workmanship. The original siding survives; however, the windows have been replaced with vinyl sash windows and faux shutters have been added. The front door has also been replaced and the sidelights have been altered. The brick pillars supporting the porch roof have been painted white and the small porch on the rear elevation was enclosed. Due to a loss of integrity of materials the building lacks sufficient character to convey its historic feeling. The property is associated with the development of the community of West End during the first half of the twentieth century.

Criterion A

The John & Mary Monroe House is not recommended eligible for the NRHP under Criterion A (Event). To be eligible under Criterion A the property must retain integrity and must be associated with a specific event marking an important moment in American prehistory or history or pattern of events or historic trends that made a significant contribution to the development of a community, a state, or a nation. Furthermore, the property must have existed at the time and be documented to be associated with the events. Finally, the property's specific association must be important as well.

The John & Mary Monroe House is associated with the broader development of West End during the first half of the twentieth century; however, due to the loss of integrity of some materials and workmanship as well as feeling the property is not recommended eligible under Criterion A.

Criterion B

The John & Mary Monroe House is not recommended eligible for the NRHP under Criterion B (Person). For a property to be eligible for significance under Criterion B, it must retain integrity and 1) be associated with the lives of persons significant in our past, i.e., individuals whose activities are demonstrably important within a local, state, or national historic context; 2) be normally associated with a person's productive life, reflecting the time period when he/she achieved significance; and 3) should be compared to other associated properties to identify those that best represent the person's historic contributions. Furthermore, a property is not eligible if its only justification for significance is that it was owned or used by a person who is or was a member of an identifiable profession, class or social or ethnic group.

The property is not associated with the life or lives of persons significant to our past and therefore is not recommended eligible under Criterion B.

Criterion C

The John & Mary Monroe House is not recommended eligible for the NRHP under Criterion C (design/construction). For a property to be eligible under this criterion, it must retain integrity and either 1) embody distinctive characteristics of a type, period, or method of construction; 2) represent the work of a master; 3) possess high artistic value; or 4) represent a significant and distinguishable entity whose components may lack individual distinction.

The John & Mary Monroe House represents a type of vernacular of architecture built during the first half of the twentieth century that most closely resembles the Foursquare. A review of HPOWEB shows that approximately 230 houses have been documented in North Carolina that are described as a Foursquare. Ten were determined eligible. Of these ten, one is listed in the NRHP: the Robert Joseph Moore House, which dates to around 1920 (CH0325). These houses all vary in the use of brick or wood siding, and the types of windows and porch supports. What they do have in common is the massing and the style of the roof and each retains a high level of integrity of materials. The style was popular across North Carolina and other examples can be found in different counties, such as the George T. Chandler House (LE0821) in Broadway, Lee County, the Ransom House (MK1351) in Huntersville, Mecklenburg County, and the Carl Whitaker House (FK0894) near Rocky Ford in Franklin County, each of which retain a high level of integrity of materials (Figures 138 through 140). Due to the alterations the John & Mary Monroe House does not retain the integrity to embody the distinctive characteristic of a type, period, or method of construction and therefore is not recommended as eligible for listing in the NRHP under Criterion C for architecture.



Figure 138: George T. Chandler House (LE0821), Looking Northwest. 116



Figure 139: Ransom House (MK1351), Looking Northwest.



Figure 140: Carl Whitaker House (FK0894), Looking Southwest.

Criterion D

The John & Mary Monroe House is not recommended eligible for the NRHP under Criterion D (potential to yield information). For a property to be eligible under Criterion D, it must meet two requirements: 1) the property must have, or have had, information to contribute to our understanding of human history and prehistory, and 2) the information must be considered important.

The property is not likely to yield any new information pertaining to the history of building design and technology and is therefore not recommended eligible under Criterion D.

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